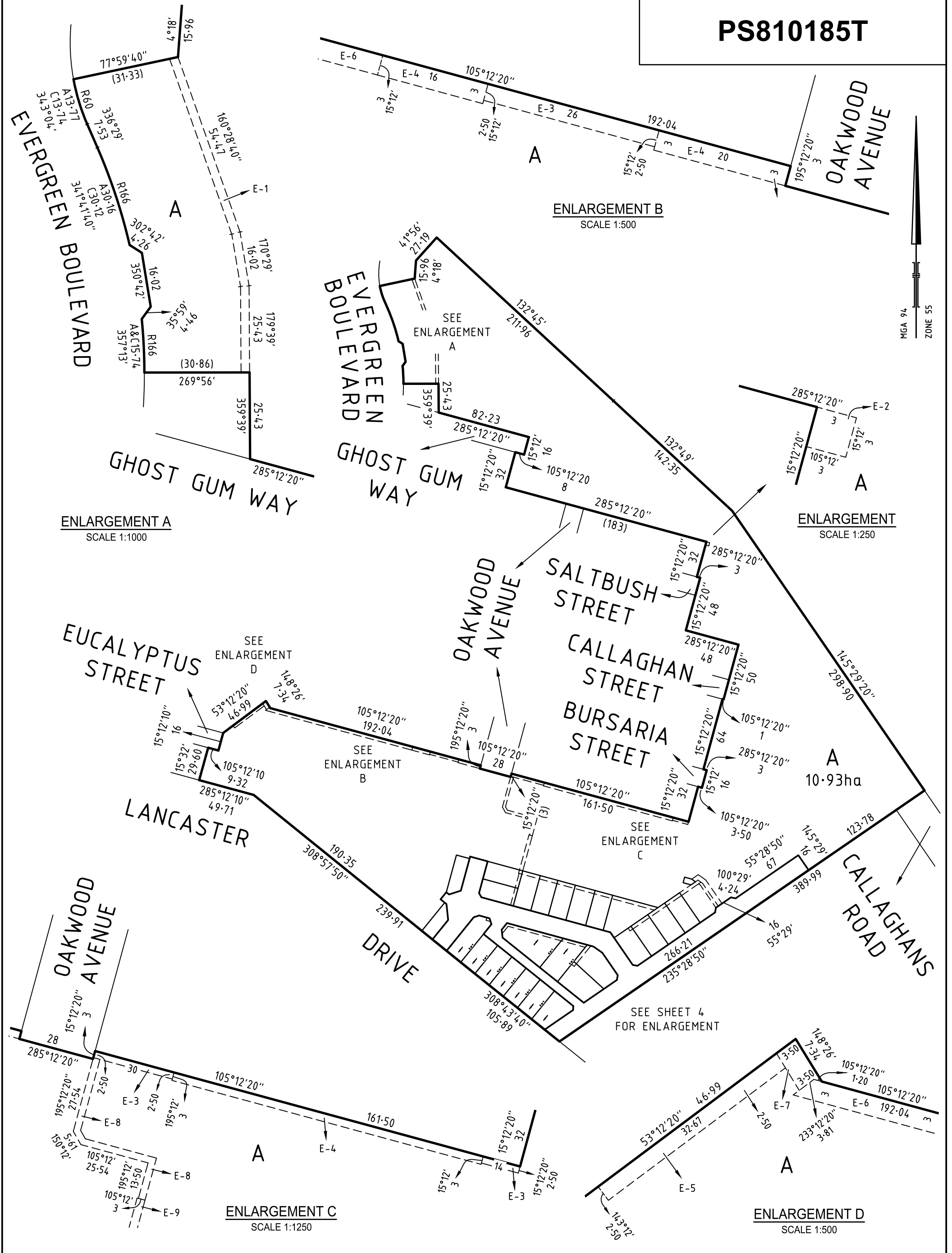
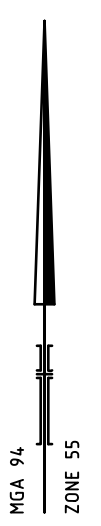


PLAN OF SUBDIVISION			EDITION 1	PS810185T
LOCATION OF LAND PARISH: Sandhurst TOWNSHIP: SECTION: N CROWN ALLOTMENT: 160B (Part), 160C (Part), 160D (Part), 188H (Part) CROWN PORTION: TITLE REFERENCE: C/T VOL 11520 FOL 193 LAST PLAN REFERENCE: Lot P on PS645161C POSTAL ADDRESS: Evergreen Boulevard, (at time of subdivision) Jackass Flat VIC 3556 MGA94 CO-ORDINATES: E: 257 420 ZONE: 55 (of approx centre of land N: 5 933 840 in plan)				
VESTING OF ROADS AND/OR RESERVES			Notations	
IDENTIFIER	COUNCIL/BODY/PERSON		Depth Limitations: 15.24 metres below the surface applies to Crown Allotments 160B, 160C, 188H. 15 metres below the surface applies to Crown Allotment 160D. Creation of restrictions applies to land in this plan.	
ROAD R-1 RESERVE No 1 RESERVE No 2 RESERVE No 3	City of Greater Bendigo City of Greater Bendigo City of Greater Bendigo Powercor Australia Ltd			
NOTATIONS				
DEPTH LIMITATION See Notations on Right				
SURVEY: This plan is based on survey STAGING: This is not a staged subdivision Planning Permit No DS/226/2010 This survey has been connected to permanent marks No(s) In Proclaimed Survey Area No. 34				
EASEMENT INFORMATION				
LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)				
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour of
SEE SHEET 2 FOR EASEMENT INFORMATION				
GOLDEN GROVE ESTATE - STAGE 1 (23 LOTS)			AREA OF STAGE - 2.406ha	
16 Bridge Street PO Box 1064 Bendigo Vic 3550 T 61 3 5448 2500 spiire.com.au		SURVEYORS FILE REF: 304068SV00		ORIGINAL SHEET SIZE: A3
		Licensed Surveyor: Michael Meehan Version: 7		SHEET 1 OF 5

Easement Information				
Legend: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)				
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited / In Favour Of
E-1	Pipelines or Ancillary Purposes	2.50	PS645130P (Sec 136 Water Act 1989)	Coliban Region Water Corporation
E-2	Pipelines or Ancillary Purposes	See Diag	PS701819L (Sec 136 Water Act 1989)	Coliban Region Water Corporation
E-2	Drainage	See Diag	PS701819L	City of Greater Bendigo
E-3	Pipelines or Ancillary Purposes	2.50	PS645161C (Sec 136 Water Act 1989)	Coliban Region Water Corporation
E-4	Pipelines or Ancillary Purposes	3	PS645161C (Sec 136 Water Act 1989)	Coliban Region Water Corporation
E-4	Drainage	3	PS645161C	City of Greater Bendigo
E-5 & E-6	Pipelines or Ancillary Purposes	See Diag	PS714248G (Sec 136 Water Act 1989)	Coliban Region Water Corporation
E-6	Drainage	See Diag	PS714248G	City of Greater Bendigo
E-7	Pipelines or Ancillary Purposes	See Diag	PS714242V (Sec 136 Water Act 1989)	Coliban Region Water Corporation
E-7	Drainage	See Diag	PS714242V	City of Greater Bendigo
E-8	Pipelines or Ancillary Purposes	2.50	This Plan (Sec 136 Water Act 1989)	Coliban Region Water Corporation
E-9	Pipelines or Ancillary Purposes	3	This Plan (Sec 136 Water Act 1989)	Coliban Region Water Corporation
E-9	Drainage	3	This Plan	City of Greater Bendigo
E-10	Power Line	4	This Plan (Sec 88 Electricity Industry Act 2000)	Powercor Australia Limited



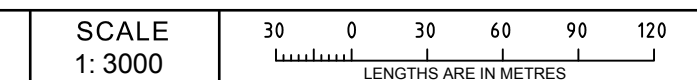
ENLARGEMENT A
SCALE 1:1000

ENLARGEMENT B
SCALE 1:500

ENLARGEMENT
SCALE 1:250

ENLARGEMENT C
SCALE 1:1250

ENLARGEMENT D
SCALE 1:500

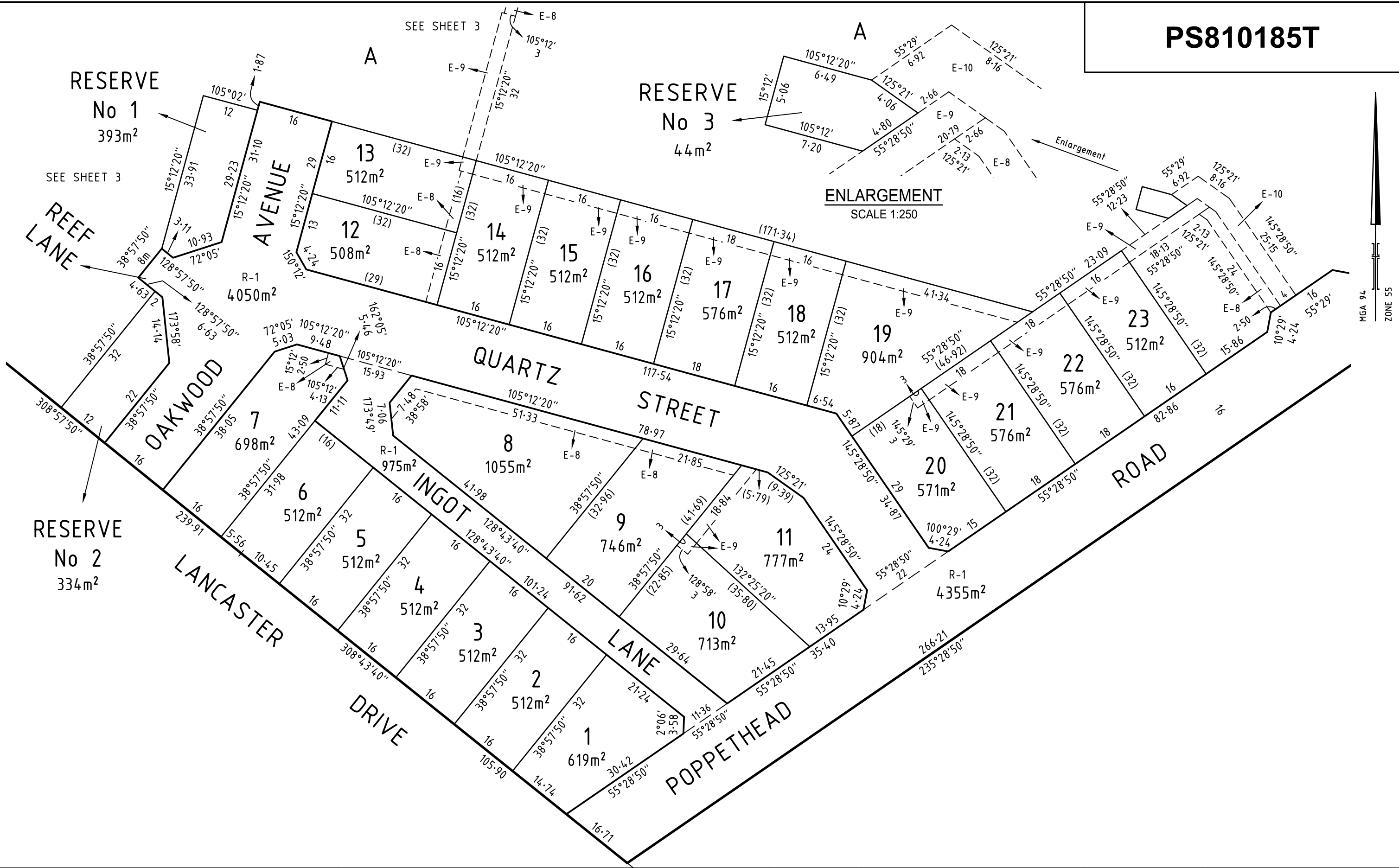


ORIGINAL SHEET SIZE: A3 SHEET 3



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ENLARGEMENT
SCALE 1:250



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SCALE
1: 750

7.5 0 7.5 15 22.5 30
LENGTHS ARE IN METRES

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Ref: 304068SV00
Version: 7

ORIGINAL SHEET
SIZE: A3

SHEET 4

CREATION OF RESTRICTION No 1

PS810185T

The following Restriction is to be created on registration of this plan.

For the purpose of this Restriction:

- a. A dwelling means a house
- b. A building means any structure except a fence
- c. Developer means Merrimu Views Pty Ltd of 8 Gordons Road Lower Templestowe VIC 3107 or any of its related bodies corporate within the meaning of Section 50 of the Corporations Act 2001(Cth) and its successors, substitutes, permitted assigns, executors and administrators

The registered proprietors of the burdened land covenant with the registered proprietors of the benefited land as set out in the restriction with the intent that the burden of the restriction runs with and binds the burdened land and the benefit of the restriction is annexed to and runs with the benefited land

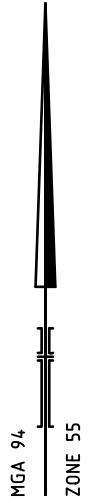
Burdened Land: Lots 1 to 9 (both inclusive)

Benefited Land: Lots 1 to 9 (both inclusive)

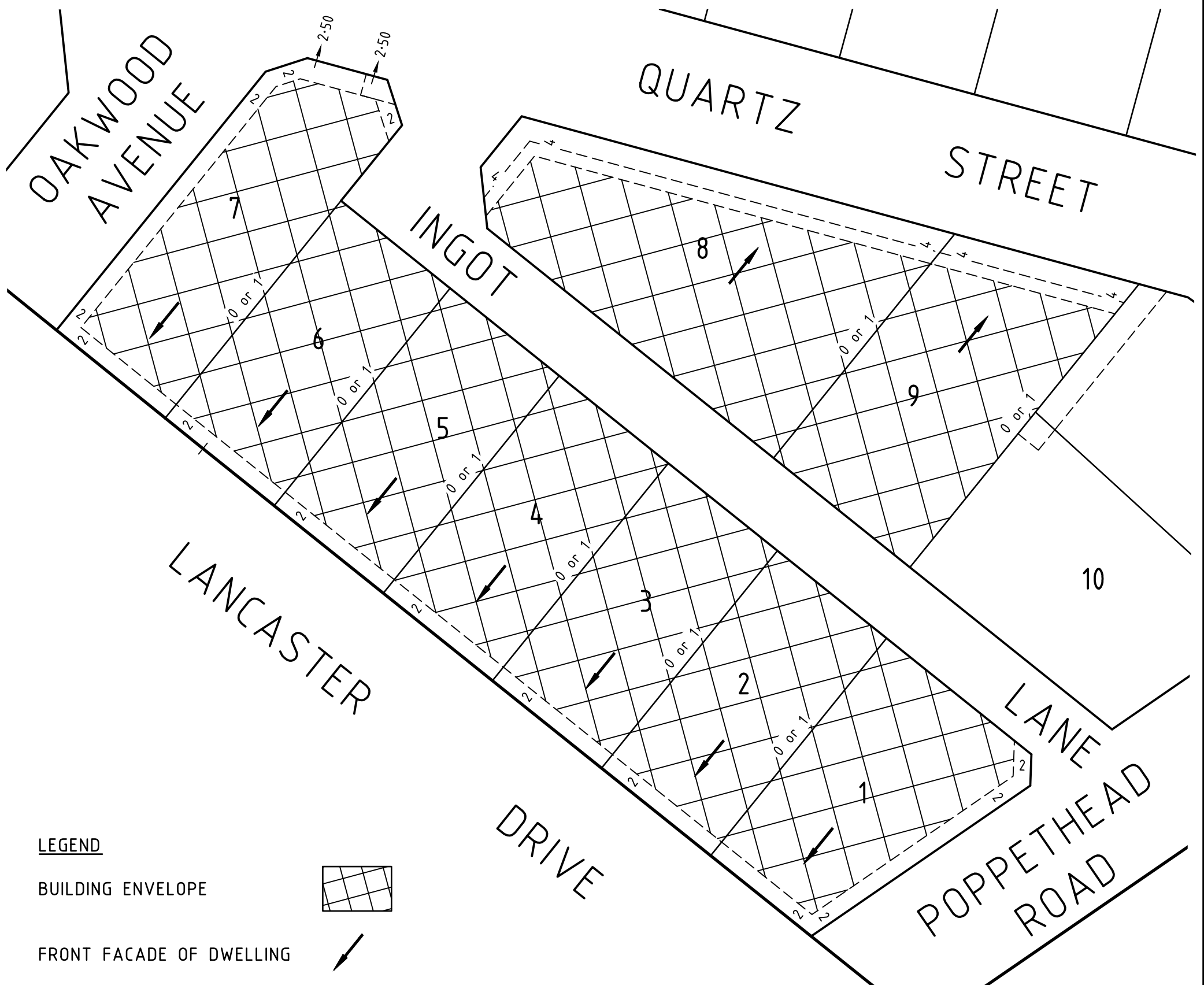
Description of Restriction

The registered proprietor or proprietors for the time being of any lot on this plan for which the following restriction applies must not:

1. Except with the approval of the developer of any variations, construct any dwelling unless that dwelling accords with the provisions recorded in the Golden Grove Estate Design and Siting Guidelines and any plans approved by the Developer from time to time.
2. Build or erect any dwelling or structure other than a dwelling or structure which is built in accordance with the building envelopes shown in the building envelope diagram on Sheet 5 of this Plan.
3. For those boundaries indicated as 0 or 1 in the building envelope diagram on Sheet 5 of this Plan, construct a dwelling within 1 metre of the boundary unless that dwelling is built on the boundary.
4. Build or erect any dwelling on Lots 1 to 7 (both inclusive) unless that dwelling has its front façade facing Lancaster Drive as shown in the building envelope diagram on Sheet 5 of this Plan.
5. Build or erect any dwelling on Lots 8 and 9 unless that dwelling has its front façade facing Quartz Street as shown in the building envelope diagram on Sheet 5 of this Plan.
6. Build or erect a garage or carport on Lots 1 to 7 (both inclusive) that is accessed from Lancaster Drive.
7. Allow any of the above restrictions to be changed or amended unless the changes(s) or amendment(s) have been approved in writing by the responsible authority and the Developer.



BUILDING ENVELOPE DIAGRAM



LEGEND

BUILDING ENVELOPE

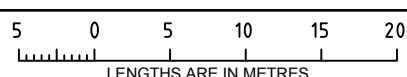


FRONT FACADE OF DWELLING



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SCALE
1: 500



ORIGINAL SHEET
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SHEET 5

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Ref: 304068SV00
Version: 7