

# Vendor Statement

The vendor makes this statement in respect of the land in accordance with section 32 of the *Sale of Land Act 1962*.

This statement must be signed by the vendor and given to the purchaser before the purchaser signs the contract.

The vendor may sign by electronic signature.

The purchaser acknowledges being given this statement signed by the vendor with the attached documents before the purchaser signed any contract.

Land

Lot \_\_\_\_\_ on proposed plan of subdivision PS839760X

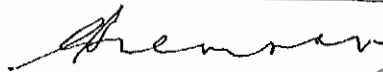
Vendor's name

Merrimu Views Pty Ltd ACN 147 782 634 trading as Aitken Unit Trust

Date

/ /

Vendor's  
signature



Director/Secretary

Purchaser's  
name

Date

/ /

Purchaser's  
signature

Purchaser's  
name

Date

/ /

Purchaser's  
signature

Template Vendor Statement  
which may be subject to variations and amendments

## 1. FINANCIAL MATTERS

### 1.1 Particulars of any Rates, Taxes, Charges or Other Similar Outgoings (and any interest on them)

(a) Their total does not exceed:

\$3,000.00

### 1.2 Particulars of any Charge (whether registered or not) imposed by or under any Act to secure an amount due under that Act, including the amount owing under the charge.

None to the vendors knowledge.

### 1.3 Terms Contract

This section 1.3 only applies if this vendor statement is in respect of a terms contract where the purchaser is obliged to make 2 or more payments (other than a deposit or final payment) to the vendor after the execution of the contract and before the purchaser is entitled to a conveyance or transfer of the land.

Not Applicable.

### 1.4 Sale Subject to Mortgage

This section 1.4 only applies if this vendor statement is in respect of a contract which provides that any mortgage (whether registered or unregistered), is NOT to be discharged before the purchaser becomes entitled to possession or receipts of rents and profits.

Not Applicable.

## 2. INSURANCE

### 2.1 Damage and Destruction

This section 2.1 only applies if this vendor statement is in respect of a contract which does NOT provide for the land to remain at the risk of the vendor until the purchaser becomes entitled to possession or receipt of rents and profits.

Not Applicable.

### 2.2 Owner Builder

This section 2.2 only applies where there is a residence on the land that was constructed by an owner-builder within the preceding 6 years and section 137B of the Building Act 1993 applies to the residence.

Not Applicable.

## 3. LAND USE

### 3.1 Easements, Covenants or Other Similar Restrictions

(a) A description of any easement, covenant or other similar restriction affecting the land (whether registered or unregistered): -

Is in the attached copies of title documents.

(b) Particulars of any existing failure to comply with that easement, covenant or other similar restriction are:

To the best of the vendors knowledge there is no existing failure to comply with the terms of any easement, covenant or other similar restriction.

### 3.2 Road Access

There is NO access to the property by road if the square box is marked with an 'X'

### 3.3 Designated Bushfire Prone Area

The land is in a designated bushfire prone area under section 192A of the *Building Act* 1993 if the square box is marked with an 'X'

3.4 Planning Scheme

Attached is a certificate with the required specified information.

4. NOTICES

4.1 Notice, Order, Declaration, Report or Recommendation

Particulars of any notice, order, declaration, report or recommendation of a public authority or government department or approved proposal directly and currently affecting the land, being a notice, order, declaration, report, recommendation or approved proposal of which the vendor might reasonably be expected to have knowledge:

Not Applicable.

4.2 Agricultural Chemicals

There are NO notices, property management plans, reports or orders in respect of the land issued by a government department or public authority in relation to livestock disease or contamination by agricultural chemicals affecting the ongoing use of the land for agricultural purposes. However, if this is not the case, the details of any such notices, property management plans, reports or orders, are as follows:

Nil.

4.3 Compulsory Acquisition

The particulars of any notices of intention to acquire that have been served under section 6 of the Land Acquisition and Compensation Act 1986 are as follows:

Nil.

5. BUILDING PERMITS

Particulars of any building permit issued under the Building Act 1993 in the preceding 7 years (required only where there is a residence on the land):

Not Applicable.

6. OWNERS CORPORATION

This section 6 only applies if the land is affected by an owners corporation within the meaning of the Owners Corporations Act 2006.

Not Applicable.

7. GROWTH AREAS INFRASTRUCTURE CONTRIBUTION ("GAIC")

Not applicable.

8. SERVICES

The services which are marked with an 'X' in the accompanying square box are NOT connected to the land:

Connected indicates that the service is provided by an authority and operating on the day of sale. The purchaser should be aware that the vendor may terminate any account with a service provider prior to settlement, and the purchaser may need to have the service reconnected.

Electricity supply <input checked="" type="checkbox"/>	Gas supply <input checked="" type="checkbox"/>	Water supply <input checked="" type="checkbox"/>	Sewerage <input checked="" type="checkbox"/>	Telephone services <input checked="" type="checkbox"/>
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9. TITLE

Attached are copies of the following documents:

9.1 (a) Registered Title

A Register Search Statement and the document, or part of a document, referred to as the 'diagram location' in that statement which identifies the land and its location.

## 10. SUBDIVISION

### 10.1 Unregistered Subdivision

This section 10.1 only applies if the land is subject to a subdivision which is not registered.

- (a) Attached is a copy of the latest version of the plan if the plan of subdivision has not yet been certified.

### 10.2 Staged Subdivision

This section 10.2 only applies if the land is part of a staged subdivision within the meaning of section 37 of the *Subdivision Act 1988*.

- (a) Attached is a copy of the plan for the first stage if the land is in the second or subsequent stage.
- (b) The requirements in a statement of compliance relating to the stage in which the land is included that have not been complied with are as follows:

NIL

- (c) The proposals relating to subsequent stages that are known to the vendor are as follows:

NIL

- (d) The contents of any permit under the *Planning and Environment Act 1987* authorising the staged subdivision are:

NIL

### 10.3 Further Plan of Subdivision

This section 10.3 only applies if the land is subject to a subdivision in respect of which a further plan within the meaning of the *Subdivision Act 1988* is proposed.

- (a) Attached is a copy of the plan which has been certified by the relevant municipal council (if the later plan has not been registered).

## 11. DISCLOSURE OF ENERGY INFORMATION

Details of any energy efficiency information required to be disclosed regarding a disclosure affected building or disclosure area affected area of a building as defined by the *Building Energy Efficiency Disclosure Act 2010* (Cth)

- (a) to be a building or part of a building used or capable of being used as an office for administrative, clerical, professional or similar based activities including any support facilities; and
- (b) which has a net lettable area of at least 1000m<sup>2</sup>; (but does not include a building under a strata title system or if an occupancy permit was issued less than 2 years before the relevant date):

Not Applicable.

## 12. DUE DILIGENCE CHECKLIST

is attached.

### 13. ATTACHMENTS

Title Search Volume 12214 Folio 851  
Copy of Plan – PS810190B  
Copy of Plan – PS839760X  
Memorandum of Common Provisions – to be registered  
Fencing Guidelines  
BAL Rating Key Plan  
Planning Permit  
Agreement Section 173 Planning and Environment Act 1987 - AH930656B  
Agreement Section 173 Planning and Environment Act 1987 - AK024214N  
Agreement Section 173 Planning and Environment Act 1987 – AS998048X  
Engineering Plans Stage 3  
Soil Test Report  
Salinity Report  
Planning & Property Reports  
City of Greater Bendigo Land Information Certificate  
State Revenue Office Land Tax Clearance Certificate  
Vic Roads Certificate  
Mine Report  
Sewer Plan  
Due Diligence Checklist

Template Vendor Statement  
which may be subject to variations and amendments



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**REGISTER SEARCH STATEMENT (Title Search) Transfer of  
Land Act 1958**

Page 1 of 1

VOLUME 12214 FOLIO 851

Security no : 124084378078C  
Produced 17/07/2020 11:13 AM

**LAND DESCRIPTION**

Lot C on Plan of Subdivision 810190B.  
PARENT TITLE Volume 12018 Folio 588  
Created by instrument PS810190B 25/05/2020

**REGISTERED PROPRIETOR**

Estate Fee Simple  
Sole Proprietor  
MERRIMU VIEWS PTY LTD of 8 GORDONS ROAD TEMPLESTOWE LOWER VIC 3107  
PS810190B 25/05/2020

**ENCUMBRANCES, CAVEATS AND NOTICES**

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

AGREEMENT Section 173 Planning and Environment Act 1987  
AH930656B 05/05/2011

AGREEMENT Section 173 Planning and Environment Act 1987  
AK024214N 14/11/2012

AGREEMENT Section 173 Planning and Environment Act 1987  
AS998048X 18/02/2020

**DIAGRAM LOCATION**

SEE PS810190B FOR FURTHER DETAILS AND BOUNDARIES

**ACTIVITY IN THE LAST 125 DAYS**

NUMBER	STATUS	DATE
PS810190B (B) PLAN OF SUBDIVISION	Registered	25/05/2020

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: LANCASTER DRIVE JACKASS FLAT VIC 3556

**ADMINISTRATIVE NOTICES**

NIL

eCT Control 20523B J + K LAW  
Effective from 25/05/2020

DOCUMENT END



# Imaged Document Cover Sheet

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Document Type	<b>plan</b>
Document Identification	<b>PS810190B</b>
Number of Pages (excluding this cover sheet)	<b>4</b>
Document Assembled	<b>17/07/2020 11:14</b>

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Template for imaged statement  
which may be subject to variations and amendments

<b>PLAN OF SUBDIVISION</b>			EDITION 1	<b>PS810190B</b>
<b>LOCATION OF LAND</b> PARISH: Sandhurst TOWNSHIP: SECTION: N CROWN ALLOTMENT: 160B (Part), 160C (Part), 160D (Part), 188H (Part) CROWN PORTION: TITLE REFERENCE: C/T VOL 12018 FOL 588 LAST PLAN REFERENCE: Lot A on PS810185T POSTAL ADDRESS: Poppethead Road, (at time of subdivision) Jackass Flat VIC 3556 MGA94 CO-ORDINATES: E: 257 500      ZONE: 55 (of approx centre of land      N: 5 933 670 in plan)			Council Name: Greater Bendigo City Council Council Reference Number: SC/904/2011 Planning Permit Reference: DS/226/2010 SPEAR Reference Number: S107816V <b>Certification</b> This plan is certified under section 11 (7) of the Subdivision Act 1988 Date of original certification under section 6: 06/11/2019 Public Open Space A requirement for public open space under section 18 of the Subdivision Act 1988 has not been made Digitally signed by: Peter O'Brien for Greater Bendigo City Council on 22/05/2020 Statement of Compliance issued: 22/05/2020	
<b>VESTING OF ROADS AND/OR RESERVES</b>			<b>Notations</b>	
IDENTIFIER	COUNCIL/BODY/PERSON		Depth Limitations: 15.24 metres below the surface applies to Crown Allotments 160B, 160C, 188H. 15 metres below the surface applies to Crown Allotment 160D. Further Purpose of Plan: Removal of parts of Easements E-8 & E-9 & Easement E-10 set aside in PS810185T where now contained in Eucalyptus Street. Grounds for Removal: Consent of the relevant authorities under the powers of Section 6(1)(k)(iii) of the Subdivision Act 1988.	
ROAD R-1	City of Greater Bendigo			
<b>NOTATIONS</b>				
DEPTH LIMITATION See Notations on Right				
<b>SURVEY:</b> This plan is based on survey <b>STAGING:</b> This is not a staged subdivision Planning Permit No AM/904/2011/G This survey has been connected to permanent marks No(s) 2010 In Proclaimed Survey Area No. 34				
<b>EASEMENT INFORMATION</b>				
LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)				
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour of
SEE SHEET 2 FOR EASEMENT INFORMATION				
GOLDEN GROVE ESTATE - STAGE 2 (23 LOTS)			AREA OF STAGE 1.588ha	
 16 Bridge Street PO Box 1064 Bendigo Vic 3550 T 61 3 5448 2500 spiire.com.au		SURVEYORS FILE REF: 304205SV00		ORIGINAL SHEET SIZE: A3
		Digitally signed by: Michael John Meehan, Licensed Surveyor, Surveyor's Plan Version (4), 22/05/2020, SPEAR Ref: S107816V		SHEET 1 OF 4
		PLAN REGISTERED		
		TIME: 4.24pm DATE: 25/5/2020		
		A.R.T.		
		Assistant Registrar of Titles		



**PS810190B**

Easement Information				
Legend: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)				
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited / In Favour Of
E-1	Pipelines or Ancillary Purposes	2.50	PS845130P (Sec 136 Water Act 1989)	Coliban Region Water Corporation
E-2	Pipelines or Ancillary Purposes	See Diag	PS701819L (Sec 136 Water Act 1989)	Coliban Region Water Corporation
E-2	Drainage	See Diag	PS701819L	City of Greater Bendigo
E-3	Pipelines or Ancillary Purposes	2.50	PS645161C (Sec 136 Water Act 1989)	Coliban Region Water Corporation
E-4	Pipelines or Ancillary Purposes	3	PS645161C (Sec 136 Water Act 1989)	Coliban Region Water Corporation
E-4	Drainage	3	PS645161C	City of Greater Bendigo
E-5 & E-6	Pipelines or Ancillary Purposes	See Diag	PS714248G (Sec 136 Water Act 1989)	Coliban Region Water Corporation
E-6	Drainage	See Diag	PS714248G	City of Greater Bendigo
E-7	Pipelines or Ancillary Purposes	See Diag	PS714242V (Sec 136 Water Act 1989)	Coliban Region Water Corporation
E-7	Drainage	See Diag	PS714242V	City of Greater Bendigo
E-8 & E-9	Pipelines or Ancillary Purposes	See Diag	PS810185T (Sec 136 Water Act 1989)	Coliban Region Water Corporation
E-9	Drainage	3	PS810185T	City of Greater Bendigo
E-10 & E-12	Pipelines or Ancillary Purposes	See Diag	This Plan (Sec 136 Water Act 1989)	Coliban Region Water Corporation
E-11 & E-12	Drainage	See Diag	This Plan	City of Greater Bendigo
E-13	Power Line	12m	This plan - Sec 88 Electricity Industry Act 2000	Powercor Australia Limited



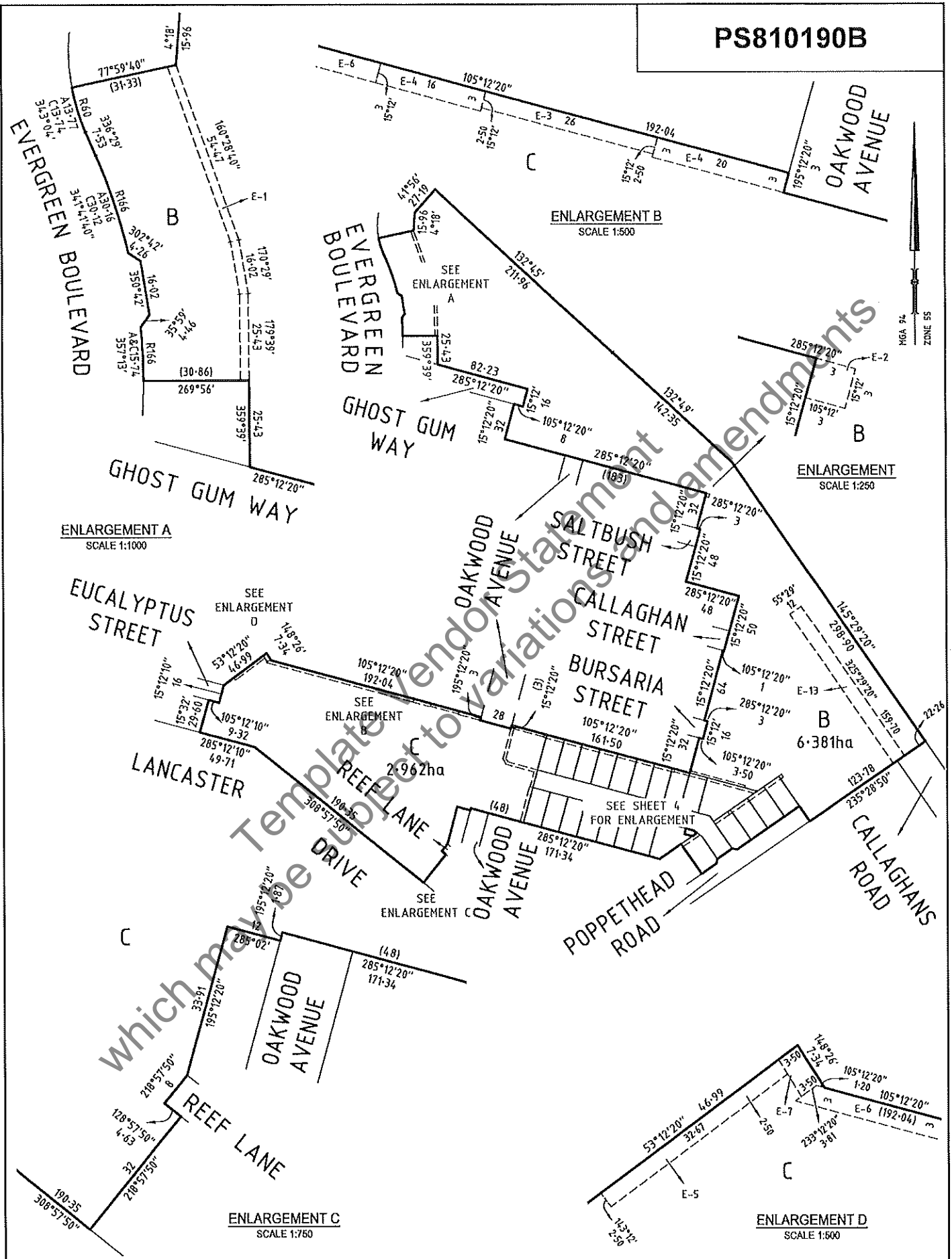
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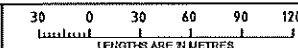
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SCALE  
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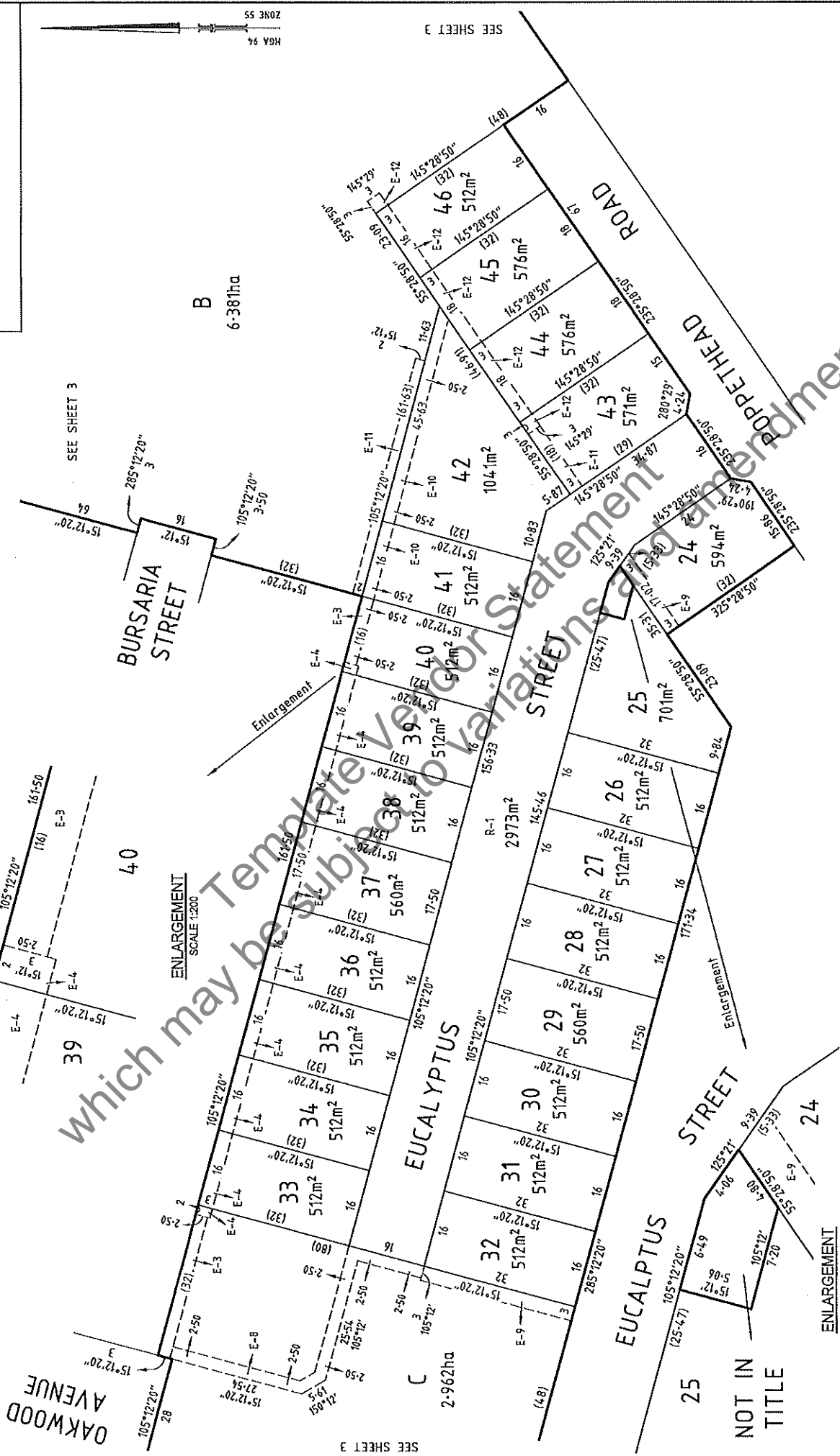
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22/05/2020, SPEAR Ref: S107816V

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SIZE: A3

SHEET 3

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22/05/2020,  
SPEAR Ref: S107816V

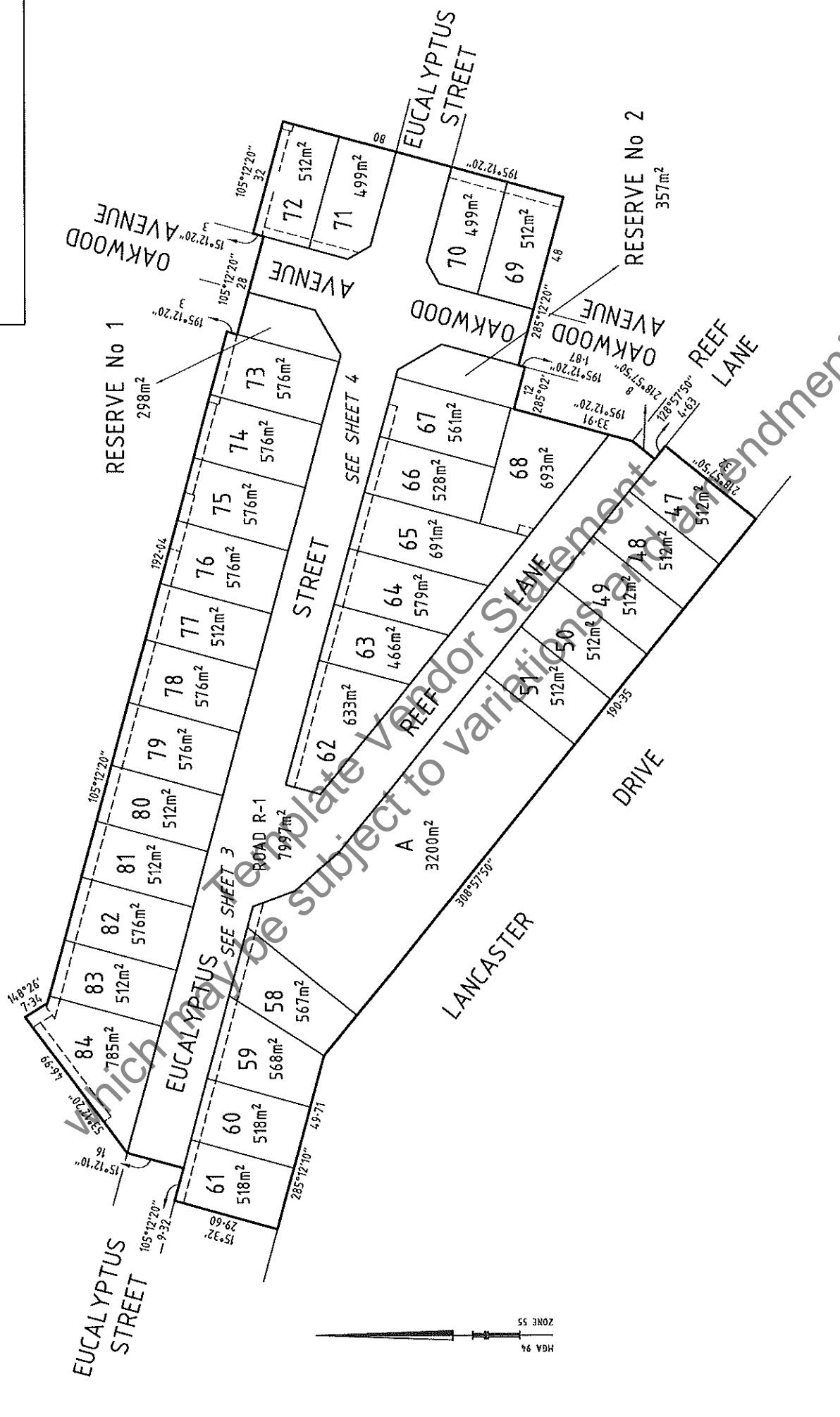
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<p>Enlargement SCALE 1:250</p>		<p>LENGTHS ARE IN METRES</p>			
<p>Enlargement SCALE 1:250</p>		<p>SHEET 4</p>			
<p>Enlargement SCALE 1:250</p>		<p>Digitally signed by: Greater Bendigo City Council, 22/05/2020, SPEAR Ref: S107816V</p>			
<p>Enlargement SCALE 1:250</p>		<p>Digitally signed by: Michael John Meehan, Licensed Surveyor, Surveyor's Plan Version (4), 22/05/2020, SPEAR Ref: S107816V</p>			
<p>Enlargement SCALE 1:250</p>		<p>16 Bridge Street PO Box 1064 Bendigo Vic 3550 T 61 3 5448 2500 spire.com.au</p>			

<b>PLAN OF SUBDIVISION</b>		EDITION 1	<b>PS839760X</b>	
<b>LOCATION OF LAND</b> PARISH: Sandhurst TOWNSHIP: SECTION: N CROWN ALLOTMENT: 160C (Part), 160D (Part), 188H (Part) CROWN PORTION: TITLE REFERENCE: C/T VOL FOL  LAST PLAN REFERENCE: Lot C on PS810190B  POSTAL ADDRESS: Oakwood Avenue, (at time of subdivision) Jackass Flat VIC 3556  MGA94 CO-ORDINATES: E: 257 250 ZONE: 55 (of approx centre of land in plan) N: 5 933 720				
<b>VESTING OF ROADS AND/OR RESERVES</b>		Notations		
IDENTIFIER	COUNCIL/BODY/PERSON	Depth Limitations: 15.24 metres below the surface applies to Crown Allotments 160C, 188H. 15 metres below the surface applies to Crown Allotment 160D.  Further Purpose of Plan: Removal of parts of Easement E-8 set aside in PS810190B where now contained in Oakwood Avenue.  Grounds for Removal: Consent of the relevant authorities under the powers of Section 6(1)(k)(iii) of the Subdivision Act 1988.  MCP ..... applies to Lots 47 to 51 (both inclusive) & Lots 58 to 84 (both inclusive) in this plan.		
ROAD R-1 RESERVE No 1 RESERVE No 2	City of Greater Bendigo City of Greater Bendigo City of Greater Bendigo			
<b>NOTATIONS</b>				
DEPTH LIMITATION See Notations on Right				
SURVEY: This plan is based on survey  STAGING: This is not a staged subdivision Planning Permit No AM/904/2011/G DS/226/2010  This survey has been connected to permanent marks No(s) 2010 In Proclaimed Survey Area No. 34				
<b>EASEMENT INFORMATION</b>				
LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)				
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour of
E-1	Pipelines or Ancillary Purposes	2.50	PS645161C - Section 136 Water Act 1989	Coliban Region Water Corporation
E-2	Pipelines or Ancillary Purposes	3	PS645161C - Section 136 Water Act 1989	Coliban Region Water Corporation
E-2	Drainage	3	PS645161C	City of Greater Bendigo
E-3 & E-4	Pipelines or Ancillary Purposes	See Diag	PS714248G - Section 136 Water Act 1989	Coliban Region Water Corporation
E-4	Drainage	See Diag	PS714248G	City of Greater Bendigo
E-5	Pipelines or Ancillary Purposes	See Diag	PS714242V - Section 136 Water Act 1989	Coliban Region Water Corporation
E-5	Drainage	See Diag	PS714242V	City of Greater Bendigo
E-6 & E-7	Pipelines or Ancillary Purposes	See Diag	PS810185T - Section 136 Water Act 1989	Coliban Region Water Corporation
E-7	Drainage	3	PS810185T	City of Greater Bendigo
E-8	Pipelines or Ancillary Purposes	2.50	This Plan - Section 136 Water Act 1989	Coliban Region Water Corporation
<b>GOLDEN GROVE ESTATE - STAGE 3 (32 LOTS)</b>				<b>AREA OF STAGE 2.962ha</b>
 16 Bridge Street PO Box 1064 Bendigo Vic 3550 T 61 3 5448 2500 spiire.com.au		SURVEYORS FILE REF: 307310SV00	ORIGINAL SHEET SIZE: A3	SHEET 1 OF 4
		Licensed Surveyor: Michael Meehan Version: 2		

PS839760X



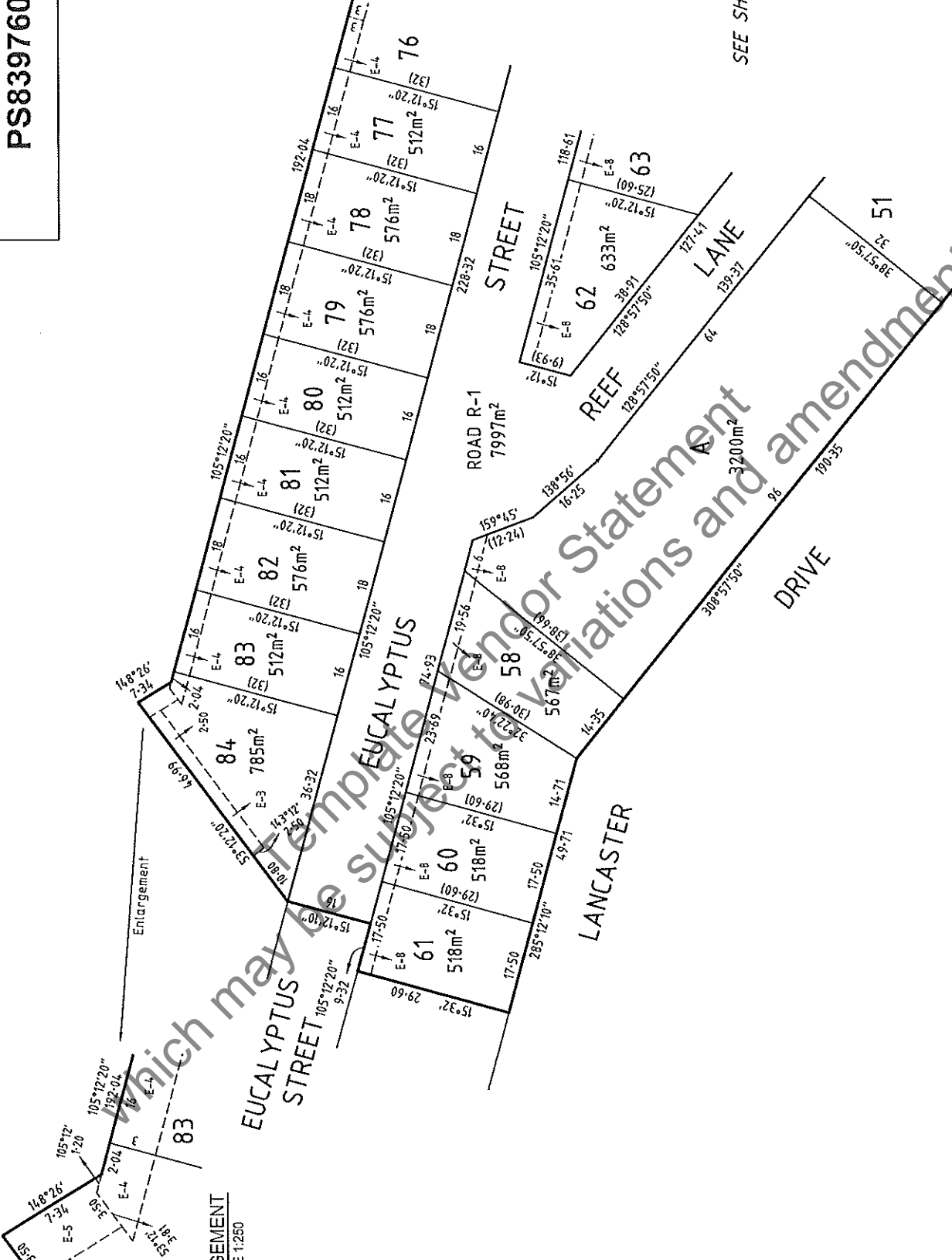
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Licensed Surveyor: Michael Meehan  
 Ref: 307310SV00  
 Version: 2

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PS839760X



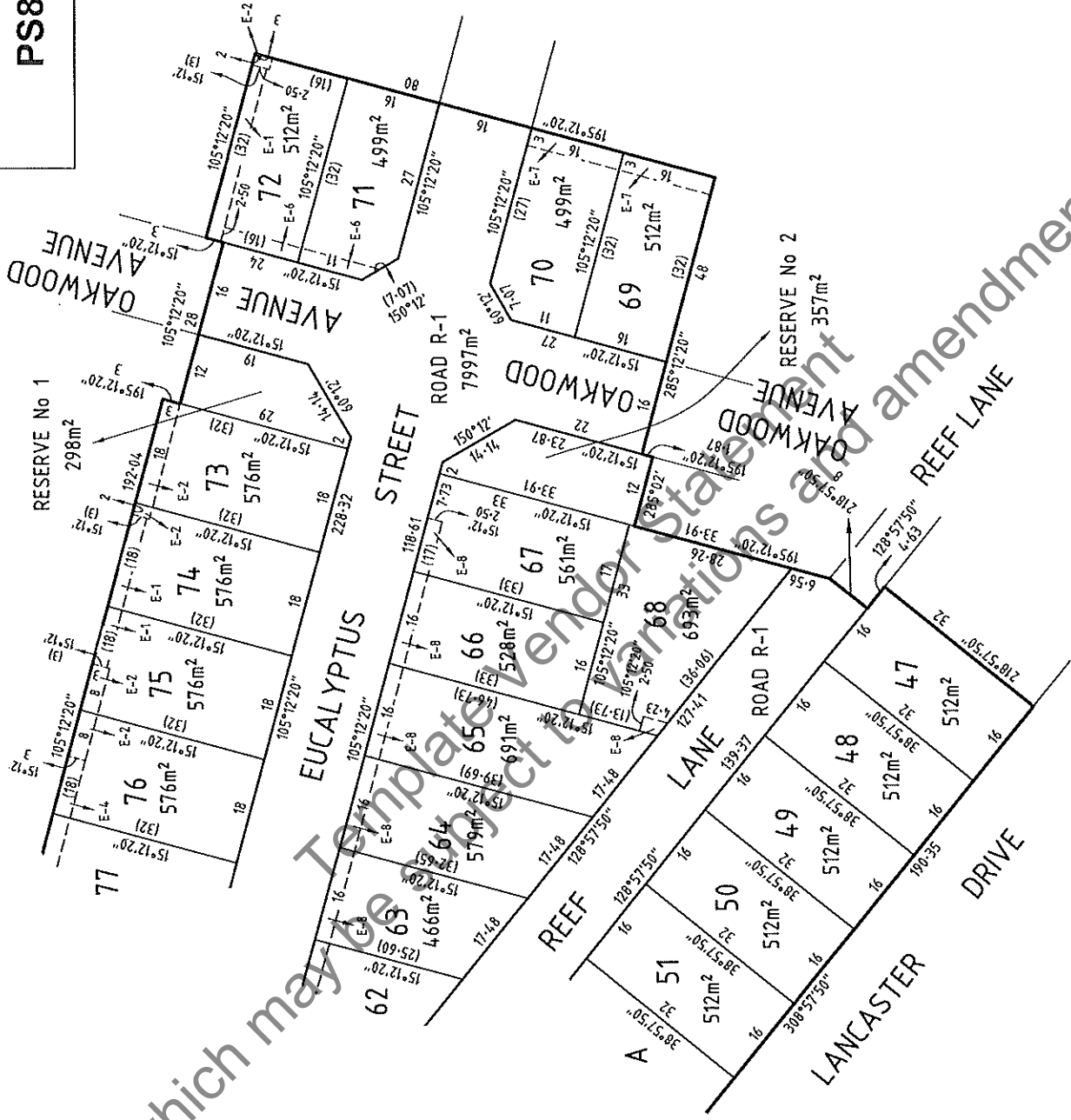
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ORIGINAL SHEET SIZE: A3  
SHEET 3

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Version: 2

PS839760X



SEE SHEET 3

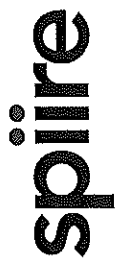


Which may be updated Vendor Statements and amendments

SCALE 1: 750	7.5 0 7.5 15 22.5 30 LENGTHS ARE IN METRES	ORIGINAL SHEET SIZE: A3	SHEET 4
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Licensed Surveyor: Michael Meehan  
Ref: 307310SV00  
Version: 2

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**Memorandum of common provisions**  
**Section 91A Transfer of Land Act 1958**

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Name:	J + K LAW
Phone:	(03) 5446 2353
Address:	76 HIGH STREET, EAGLEHAWK VIC 3556
Reference:	KP:GE:192759
Customer code:	

This memorandum contains provisions which are intended for inclusion in instruments and plans to be subsequently lodged for registration.

Provisions:

1. That no dwelling constructed on the lot shall be other than of new materials with not less than 70% of the external walls (excluding windows) being clay brick, clay brick veneer, brick cement render, concrete masonry with a rendered finish, except with the consent of the transferor.
2. That no multi-storey dwelling constructed on the lot shall be other than of new materials with not less than 50% of the external walls (excluding windows) being clay brick, clay brick veneer, brick cement render, concrete masonry with a rendered finish, except with the consent of the transferor.
3. That no dwelling shall be constructed on a lot unless the floor area of the dwelling (including the outer walls but excluding the area of garages, carports, terraces, pergolas and/or verandas) is not less than 120 square metres, except with the consent of the transferor.
4. That, save for Lots 47 to 51 inclusive, Lot A, Lots 62 to 65 inclusive and Lot 68 no dwelling shall be constructed on a lot unless such dwelling has an enclosed garage (of a minimum size to accommodate not less than two (2) motor vehicles) under the roof structure of the dwelling, of new materials and a roller door or panel lift door, except with the consent of the transferor.
5. That no dwelling shall be constructed on a lot with roofing of a reflective material of any type and must consist of Colorbond type material or roofing tiles, except with the consent of the transferor.
6. That no dwelling shall be constructed on a lot unless the airconditioning units and exposed componentry are located below the roof line and mounted on the rear aspect of the dwelling, except with the consent of the transferor.
7. In relation to Lots 47 to 51 inclusive, Lot A and Lots 58 to 65 inclusive and Lot 68, that no dwelling shall be constructed on a lot unless it is constructed within the building envelope shown on the

35271702A

V3

1. The provisions are to be numbered consecutively from number 1.
2. Further pages may be added but each page should be consecutively numbered.
3. To be used for the inclusion of provisions in instruments and plans.

91ATLA

Page 1 of 6

**THE BACK OF THIS FORM MUST NOT BE USED**

Land Use Victoria contact details: see [www.delwp.vic.gov.au/property](http://www.delwp.vic.gov.au/property)>Contact us



## Memorandum of common provisions

### Section 91A Transfer of Land Act 1958

Building Envelope Plan contained at **Annexure A**, which forms part of this Memorandum of Common Provisions.

8. That no shed or other outbuilding constructed on the lot shall be other than of new materials and not partly or wholly of reflective material of any type, including galvanised iron cladding, aluminium cladding or zincalume cladding and shall not be larger than 54 square metres, except with the consent of the transferor.
9. That no fence erected on the rear or side of a lot shall be other than of new materials consisting of double sided Colorbond steel panels in the colour of "Woodland Grey" in matt finish except for any temporary builder's fencing required at law during the construction of a dwelling on the lot, except with the consent of the transferor.
10. That no fence shall be erected on the front boundary of any lot fronting Eucalyptus Street or Oakwood Avenue except for any temporary builder's fencing required at law during the construction of a dwelling on the lot, except with the consent of the transferor.
11. That no fence erected on a lot shall exceed the height of two (2) metres.
12. That no fence shall be erected on a lot unless it complies with the Fencing Guidelines contained at **Annexure B**, which form part of this Memorandum of Common Provisions, except with the consent of the transferor.
13. That no water tank installed on a lot shall be other than of new non-reflective materials, except with the consent of the transferor.
14. That no shipping containers or relocatable buildings shall be allowed to be kept or stored at the lot,
15. That no, caravan, camper trailer or other form of portable accommodation be kept or stored at the lot, unless the said, caravan, camper trailer or other form of portable accommodation is not visible from the street boundary of the lot.
16. That no shed or other outbuilding constructed on the lot or any tent, caravan, camper trailer or other form of portable accommodation kept or stored at the lot be used for residential or business purposes,
17. That no lot shall be further subdivided or have more than one (1) dwelling constructed on the lot save for lot 84
18. That no dwelling shall be constructed on any lot unless the dwelling is connected to Coliban Water's recycled water system for the purposes of toilet flushing and all fixed and mobile gardening watering devices and otherwise comply with Conditions of connections for dual pipe areas within Coliban Water.

**Memorandum of common provisions**  
**Section 91A Transfer of Land Act 1958**

**The following covenants affect Lots 47 to 51 inclusive only:**

19. Lots 47 to 51 inclusive with the front boundary abutting the Lancaster Drive public reserve are 'rear loaded lots'.
20. Vehicle access through the Lancaster Drive public reserve is not permitted.
21. Dwellings on Lots 47 to 51 must be designed to address the reserve, with pedestrian access (the entry) facing this frontage. Garages must be located at the rear of these lots to allow vehicle access from the rear laneway (Reef Lane).
22. The dwelling must be setback from the Lancaster Drive public reserve frontage by a minimum of 2.0m and a maximum of 4.0m. Porches, porticos and verandas less than 3.6m in height may encroach up to 1.0m into the minimum front setback.
23. A garage or carport may be detached from the dwelling and can be setback from the rear boundary by a minimum of 0.0m. The design, colour and materials used for the garage must be in keeping with the dwelling.
24. In respect to Lot 47, a garage or carport may be detached from the dwelling and can be setback from Oakwood Avenue public reserve by a minimum of 0.0m. The design, colour and materials used for the garage must be in keeping with the dwelling.
25. Fencing along the rear lane boundary must be constructed of Colorbond in the colour of "Woodland Grey" face brick or rendered masonry not more than 2m in height. For pedestrian access, a gate should be accommodated within the rear boundary.
26. Fencing along the boundary with the Lancaster Drive public reserve must not exceed 1.2m in height and must be a minimum of approximately 30% visually permeable. Colorbond along this boundary is not permitted.

**The following covenants affect Lots 62 to 65 inclusive only:**

27. That dwellings on Lot 62 to 65 inclusive must be designed and constructed to address Eucalyptus Street.
28. In respect to Lot 62, the garage must be located a minimum of 10m from the intersection of the streets.
29. That if Reef Lane is to be used for rear access any garage or carport may be detached from the dwelling and can be setback from the rear boundary by a minimum of 0.0m or to the minimum extent necessary to accommodate any easements. The design and materials used for the garage must be in keeping with the dwelling.
30. Fencing along the rear lane boundary must be constructed of Colorbond in the colour of "Woodland Grey", face brick or rendered masonry not more than 2m in height. For pedestrian access, a gate should be accommodated within the rear boundary.

# Memorandum of common provisions

## Section 91A Transfer of Land Act 1958

### The following covenants affect Lot 68 only:

31. The dwelling on Lot 68 must be designed and constructed to address Oakwood Avenue.
32. Vehicle access through the Oakwood Avenue public reserve is not permitted.
33. The dwelling on this lot must be designed to address the reserve, with pedestrian access (the entry) facing this frontage. Garages must be located at the side of this lot to allow vehicle access from Reef Lane.
34. The dwelling must be setback from the Oakwood Avenue public reserve frontage by a minimum of 2.0m and a maximum of 4.0m. Porches, porticos and verandas less than 3.6m in height may encroach up to 1.0m into the minimum front setback.
35. A garage or carport may be detached from the dwelling and can be setback from the side boundary (Reef Lane) by a minimum of 0.0m. The design, colour and materials used for the garage must be in keeping with the dwelling.
36. Fencing along the lane boundary must be constructed of Colorbond in the colour of "Woodland Grey" face brick or rendered masonry not more than 2m in height. For pedestrian access, a gate should be accommodated within the side boundary.
37. Fencing along the boundary with the Oakwood Avenue public reserve must not exceed 1.2m in height and must be a minimum of approximately 30% visually permeable. Colorbond along this boundary is not permitted.

### The following covenants affect Lots 70 and 71 only:

38. A garage or carport must be located at the furthest point practicable from the intersection of the streets.

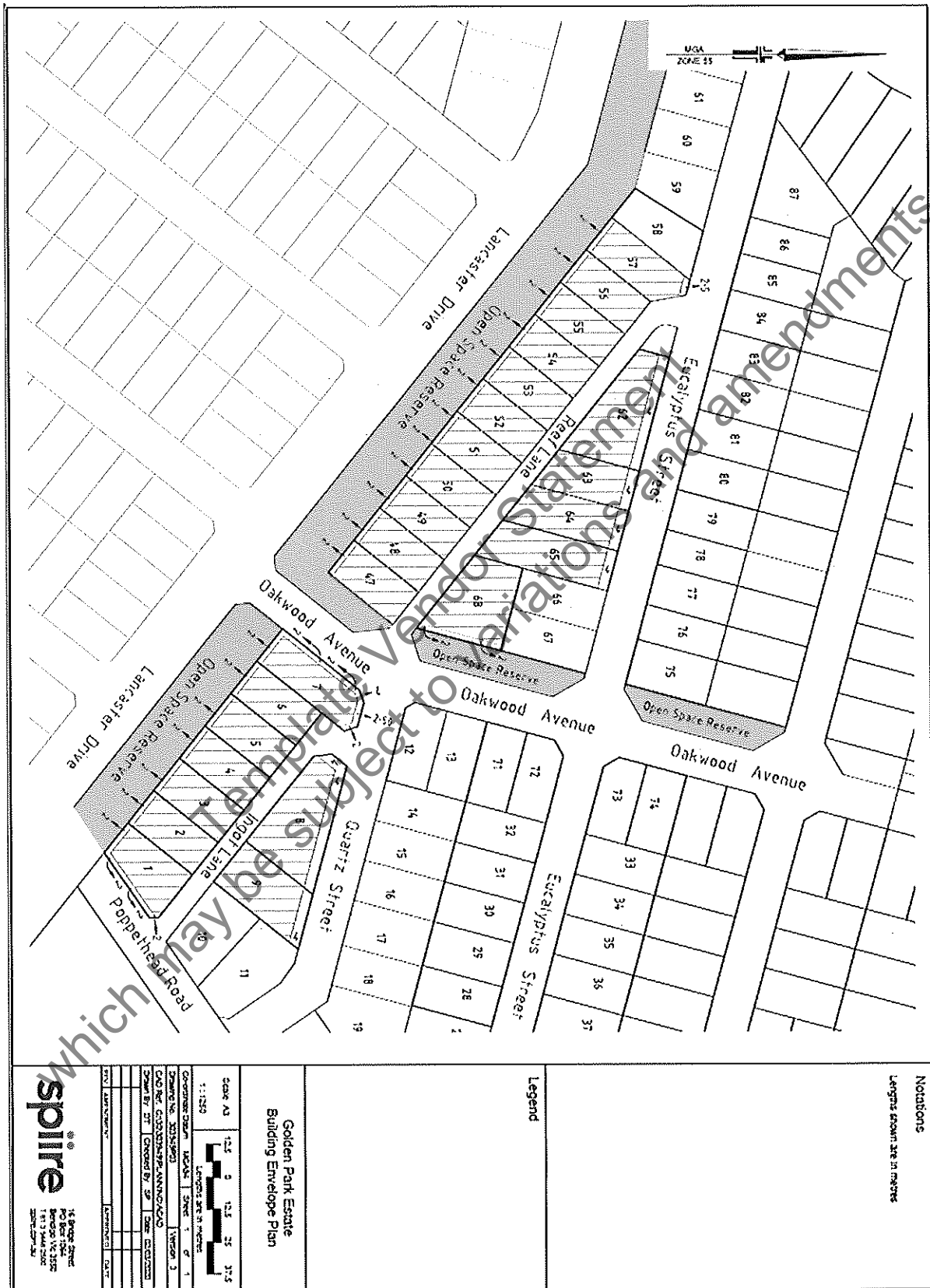
### Covenant

39. Each registered proprietor of an allotment on the Plan covenants for the registered proprietor/s of all other allotments on the Plan at all times to comply with the terms set out in this MCP.

It is agreed that the foregoing covenants shall:

- (a) be noted on and appear on every further Certificate of Title for the lots as an encumbrance affecting the lots; and
- (b) expire on **31 December 2031**.

**ANNEXURE A – BUILDING ENVELOPE PLAN**



**Memorandum of common provisions**  
Section 91A Transfer of Land Act 1958

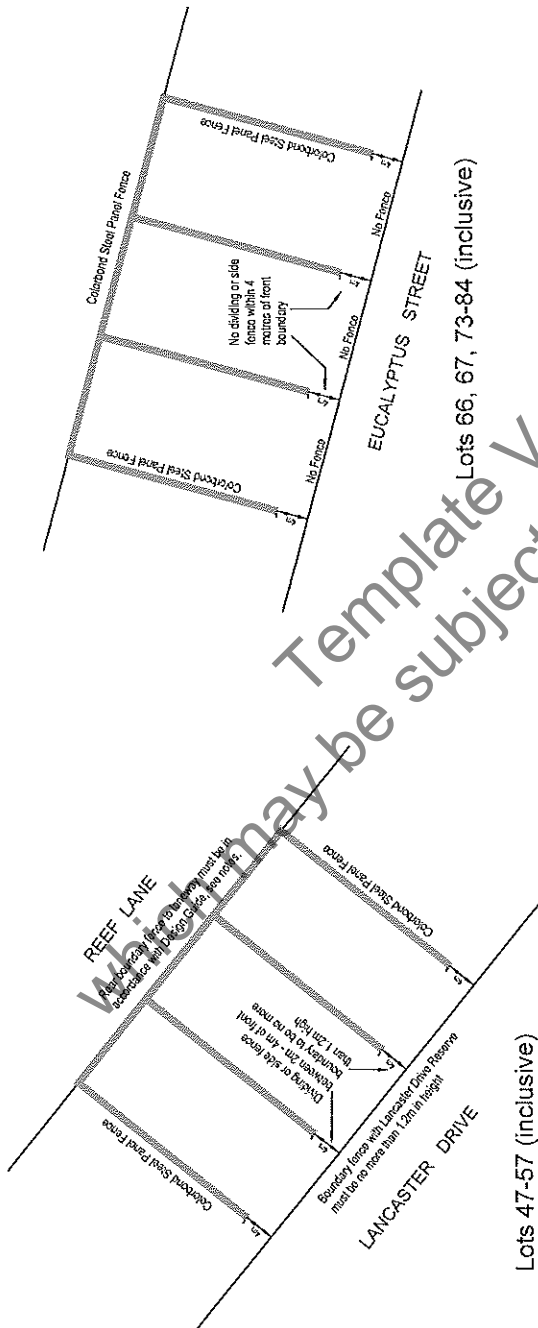
**ANNEXURE B – FENCING GUIDELINES**

1. That no dividing fence shall be erected on the lot other than of new materials consisting of double sided Colorbond steel panels of the colour "Woodland Grey" or equivalent colour SAVE AND EXCEPT for any builders' temporary site safety fencing or temporary fencing for any permitted display home for which temporary fencing must be powder coated aluminium or steel balustrading;
2. That no side dividing fence shall be erected within 4.0 metres of the front boundary SAVE AND EXCEPT for a side dividing fence which forms part of the rear boundary of an adjoining lot, or the front 4 metres of lots 47-51, and SAVE AND EXCEPT for builders' temporary site safety fencing or a temporary dividing fence for any permitted display home;
3. That no fence shall be erected on the front boundary of any lots SAVE AND EXCEPT for frontages to Lancaster Drive and Oakwood Avenue, builders' temporary site safety fencing or any temporary fencing for any permitted display home or builders' temporary site safety fencing; and
4. That no fence erected on the lot shall have a height exceeding two metres.
5. With respect to Lots 47 to 51 inclusive and Lot A which front onto Lancaster Drive and Lot 68 boundary with Oakwood Avenue public reserve front fences and side fences forward of the house must not exceed 1.2 metres in height and must not be less than 30% visually permeable. Colorbond along these boundaries is not permitted.

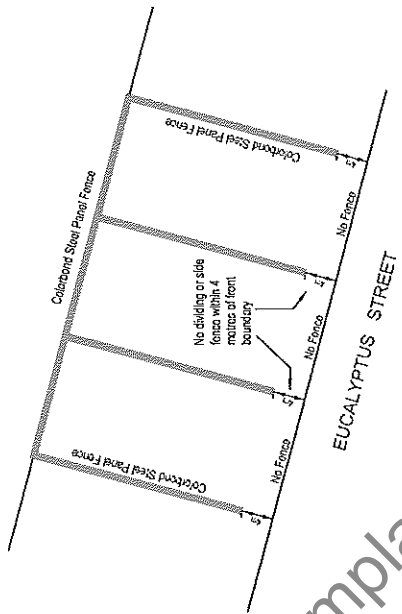
Template Vendor Statement and amendments  
which may be subject to variations and amendments

**NOTES**

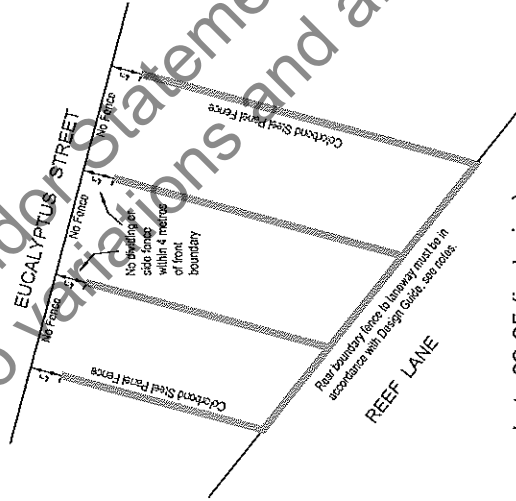
1. These Fencing Guidelines must be read in conjunction with the Golden Grove Design Guide - Rear Loaded Lots.
2. Vehicle access through the Lancaster Drive public reserve is not permitted.
3. Vehicle access through the Oakwood Ave public reserve is not permitted.
4. Reef Lane is for rear access to abutting lots only.
5. Fencing along the Reef Lane (rear) boundary must be constructed of colorbond, face brick or rendered masonry not more than 2 metres in height. For pedestrian access a gate should be accommodated within the rear boundary.
6. Fencing along the boundary with the Lancaster Drive public reserve must be no more than 1.2 metres in height.
7. Fencing along the boundary between Lot 68 and the Oakwood Avenue public reserve must be no more than 1.2 metres in height.



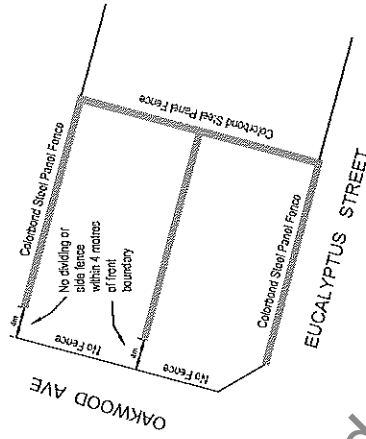
**Lots 47-57 (inclusive)**



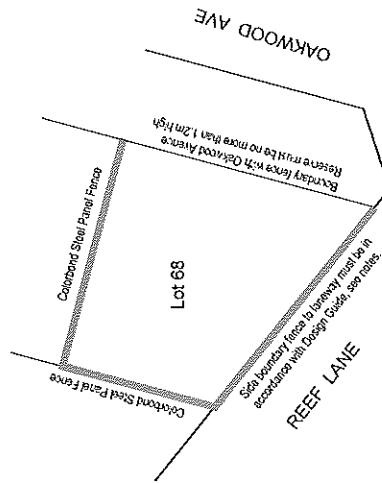
**Lots 66, 67, 73-84 (inclusive)**



**Lots 62-65 (inclusive)**



**Lots 69-72 (inclusive)**



**Lot 68**

Template Vendor Statement  
may be subject to variations and amendments

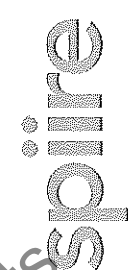
**Fence Guidelines**  
Golden Grove - Stage 3  
Lancaster Drive, Jackass Flat



Co-ordinate Datum: MGA55  
Scale: A3  
1 : NTS

Date	-16/07/2020	Sheet	1 of 1
Drawing No.	3039546-V1-FENCE	Version	2
CAD Ref.	G:\3\30394\PLANNING\ACAD	Checked By	CC
Drawn By	SP	APPROVED	DATE
REV	AMENDMENT		

16 Bridge Street  
PO Box 1054  
Bendigo Vic 3550  
T 61 3 5448 2500  
spire.com.au

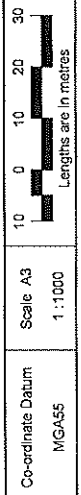




BAL 12.5

Aerial imagery supplied by Nearmap  
 Flown Date: 06/05\_/2020

Golden Grove Estate - Stage 3  
 BAL Rating Key Plan



REV	AMENDMENT	DATE	APPROVED	DATE

Date	22/05/2020	Sheet	1	of	1
Drawing No.	303849-ST3-BAL	Version	1		
CAD Ref.	G:\20\303849\PLAN\NINGS\CAD	Checked By			
Drawn By	SP				

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 Bendigo Vic 3550  
 T 61 3 3448 2300  
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# PLANNING PERMIT

Permit No. AM/904/2011/G  
Planning Scheme: Greater Bendigo Planning Scheme  
Responsible Authority: Greater Bendigo City Council

**ADDRESS OF THE LAND:** Evergreen Waters Estate - 277 Howard Street, 162 & 184 Jobs Gully Road, JACKASS FLAT 3556

**THE PERMIT ALLOWS:** Staged subdivision of land and removal of an easement; and creation of a restriction (building envelopes) on lots 1-9; 47-59; 63- 67 (all inclusive); and Lot 69

**THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:**

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1. PLANS TO BE ENDORSED

The plans to be endorsed and which will then form part of the permit are the plans submitted with the application.

2. LAYOUT PLANS

The subdivision, as shown on the endorsed plans, must not be altered without the prior written consent of the responsible authority.

3. STAGED SUBDIVISION

The subdivision must proceed in the order of stages as shown on the endorsed plan unless otherwise agreed to by the responsible authority.

4. LANDSCAPE PLAN

Before a statement of compliance is issued for each stage of the subdivision a landscape plan for the relevant stage must be submitted to the satisfaction of the Responsible Authority. When approved, the plan will be endorsed and then form part of the permit. The landscape plan must be generally in accordance with the approved Landscape Master Plan Phase 2 prepared by CPG Australia Pty Ltd.

5. COMPLETION OF LANDSCAPING

Before a statement of compliance is issued for each stage of the subdivision the landscaping works shown on the endorsed must be carried out and completed, or secured by a bond, for that stage to the satisfaction of the responsible authority.

6. LANDSCAPING MAINTENANCE

The landscaping works shown on the endorsed plans must be maintained to the satisfaction of the responsible authority for 12 months after the works are completed, including that any dead, diseased or damaged plants are to be replaced.

7. EARTHWORKS

All earthworks on the site which involve filling must comply with AS 3798-2007 Level 1 inspection and testing. Within one month of a statement of compliance being issued for each stage of the subdivision a geotechnical report must be submitted to the responsible authority confirming the standard of earthworks on the site.

Signature for the  
Responsible Authority



Date Issued: 5th June, 2012



# PLANNING PERMIT

Permit No. **AM/904/2011/G**  
Planning Scheme: **Greater Bendigo Planning Scheme**  
Responsible Authority: **Greater Bendigo City Council**

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**THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:**

---

**8. SALINITY**

Before a statement of compliance is issued for each stage of the subdivision, the owner must enter into an agreement with the responsible authority and register the agreement on the titles to the relevant lots which provides that:

- (a) Dwellings on lots affected by saline groundwater, where the depth to the water table is 1.6m-2.5m, will be constructed in accordance with the guidelines approved under this permit.
- (b) No dwellings will be constructed on lots where the depth to the water table is 0m-1.5m.

**9. DETAILED DRAINAGE**

Prior to the certification of the plan of subdivision under the Subdivision Act 1988, plans to the satisfaction of the responsible authority must be submitted to and approved by the responsible authority. When approved, the plans will be endorsed and then will form part of the permit. The plans must be drawn to scale with dimensions. The plans must include:

- (a) Direction of stormwater run off.
- (b) A point of discharge for each lot.
- (c) Independent drainage for each lot.
- (d) Approval from the relevant authority for the point of discharge.

**10. DRAINAGE EASEMENTS**

The subdivision must provide easements for drainage within and through the subject land for external outfall drainage to a point of lawful discharge to the satisfaction of the responsible authority.

**11. STORMWATER DETENTION**

Prior to the issue of a statement of compliance, the owner or applicant must provide onsite surface and stormwater detention to pre-development levels in accordance with plans and specifications to the satisfaction of the responsible authority. Allowable discharge:  $Q_{30} = 30$  l/s per hectare. The responsible authority may waive this condition if the North Central CMA does not require the provision of stormwater detention.

**12. STORMWATER QUALITY**

Before the use or development is commenced, the owner or applicant must provide a stormwater treatment system to achieve the Best Practice Environmental Guidelines storm water quality (Victoria Stormwater Committee 1999) in accordance with plans and specifications to the satisfaction of the responsible authority.

Signature for the  
Responsible Authority



Date Issued: 5th June, 2012

# PLANNING PERMIT

Permit No. AM/904/2011/G  
Planning Scheme: Greater Bendigo Planning Scheme  
Responsible Authority: Greater Bendigo City Council

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**THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:**

13. CONSTRUCTION OF WORKS

Road works, drainage and other civil works must be constructed in accordance with the Infrastructure Design Manual and plans and specifications approved by the responsible authority and must include - Internal roads:

- (a) Fully sealed pavement with kerb and channel.
- (b) Paved footpaths and shared pedestrian/bicycle paths where required.
- (c) Underground drainage.
- (d) Indented car parking and bus parking bays where required.
- (e) Underground conduits for water, gas, electricity and telephone.
- (f) Appropriate intersection and traffication measures.
- (g) Appropriate street lighting and signage.
- (h) Two high stability permanent survey marks.

14. HARVEYS LANE UPGRADE

Before a statement of compliance is issued for Stage 28 of the approved subdivision Harveys Lane, from the site boundary to Edwards Road, must be constructed to a standard required to accommodate public transport access for buses to the satisfaction of the responsible authority.

15. DECORATIVE LIGHTING

The decorative lighting style is to be consistent with any adjacent decorative lighting. The Responsible Authority shall determine decorative lighting style where conflicts arise. The applicant shall submit for approval full details of any proposed decorative lighting to the Responsible Authority prior to commencement of works. Prior to the issue of the statement of compliance the applicant will make payment to the Responsible Authority in accordance with Table 15 of the Infrastructure Design Manual.

16. PUBLIC ASSETS

Before the development starts, the owner or developer must submit to the responsible authority a written report and photos of any prior damage to public infrastructure. Listed in the report must be the condition of kerb and channel, footpath, seal, street lights, signs and other public infrastructure fronting the property and abutting at least two properties either side of the development. Unless identified with the written report, any damage to infrastructure post construction will be attributed to the development. The owner or developer of the subject land must pay for any damage caused to any public infrastructure caused as a result of the development or use permitted by this permit.

Signature for the  
Responsible Authority



Date Issued: 5th June, 2012

# PLANNING PERMIT

Permit No. AM/904/2011/G  
Planning Scheme: Greater Bendigo Planning Scheme  
Responsible Authority: Greater Bendigo City Council

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**THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:**

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**17. CONSTRUCTION MANAGEMENT PLAN**

Prior to commencement of works the owner or applicant must submit a Construction Management Plan (CMP) for approval by the responsible authority. The plan must include:

- (a) A site specific plan showing proposed erosion and sedimentation control works.
- (b) Techniques and intervention levels to prevent a dust nuisance.
- (c) Techniques to prevent mud and dirt being transported from the site to adjacent streets.
- (d) The protection measures taken to preserve any vegetation identified for retention.

During construction of works associated with the subdivision, the must employ and provide the protection methods contained in the CMP to the satisfaction of the responsible authority and the Environment Protection Agency.

**18. COLIBAN WATER**

- (a) The applicant or owner is required to reach agreement with Coliban Water for the provision of reticulated water, recycled water and sewerage services to each of the lots within the subdivision and comply with any requirements arising from any effect of the proposed development on Coliban Water assets.
- (b) Site Management Plans as per the Public Open Space HEMP will be required for the sports oval and surrounds, including the possible water feature.
- (c) The applicant is to provide evidence to the satisfaction of Coliban Water that existing private water pipes and sanitary drains do not cross the boundaries between lots. Where modifications to pipes or drains are required in order to satisfy this requirement, all work is to be carried out in accordance with AS3500 National Plumbing and Drainage Code of Australia and the relevant requirements of Coliban Water. Works to modify Coliban Water assets may only commence with prior approval by Coliban Water.
- (d) All Coliban Water assets within the subdivision, both existing and proposed, are to be protected by Registered Easement in favour of Coliban Region Water Corporation.
- (e) All proposed sewers must be located at least 1 metre from an existing or proposed structure/boundary.

**19. POWERCOR**

- (a) The plan of subdivision submitted for certification under the Subdivision Act 1988 shall be referred to Powercor Australia Ltd in accordance with Section 8 of that Act.

Signature for the  
Responsible Authority



Date Issued: 5th June, 2012

# PLANNING PERMIT

Permit No. **AM/904/2011/G**  
Planning Scheme: **Greater Bendigo Planning Scheme**  
Responsible Authority: **Greater Bendigo City Council**

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**THE PERMIT ALLOWS:** **Staged subdivision of land and removal of an easement; and creation of a restriction (building envelopes) on lots 1-9; 47-59; 63- 67 (all inclusive); and Lot 69**

**THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:**

- (b) The applicant shall: Provide an electricity supply to all lots in the subdivision in accordance with Powercor's requirements and standards, including the extension, augmentation or re-arrangement of any existing electricity supply system, as required by Powercor (A payment to cover the cost of such work will be required). In the event that a supply is not provided the applicant shall provide a written undertaking to Powercor Australia Ltd that prospective purchasers will be so informed.
- (c) The applicant shall: Where buildings or other installations exist on the land to be subdivided and are connected to the electricity supply, they shall be brought into compliance with the Service and Installation Rules issued by the Victorian Electricity Supply Industry. The applicant shall arrange compliance through a Registered Electrical Contractor.
- (d) The applicant shall: Set aside on the plan of subdivision for the use of Powercor Australia Ltd reserves and/or easements, and/or leases, satisfactory to Powercor Australia Ltd where any electric substation (other than a pole mounted type) is required to service the subdivision.
- (e) The applicant shall: Provide easements satisfactory to Powercor Australia Ltd, where easements have not been otherwise provided, for all existing Powercor Australia Ltd electric lines on the land and for any new powerlines required to service the lots and adjoining land, save for lines located, or to be located, on public roads set out on the plan. These easements shall show on the plan an easement(s) in favour of "Powercor Australia Ltd" for "Powerline Purposes" pursuant to Section 88 of the Electricity Industry Act 2000.
- (f) The applicant shall: Obtain for the use of Powercor Australia Ltd any other easement external to the subdivision required to service the lots.
- (g) The applicant shall: Adjust the position of any existing easement(s) for powerlines to accord with the position of the line(s) as determined by survey.
- (h) The applicant shall: Obtain Powercor Australia Ltd's approval for lot boundaries within any area affected by an easement for a powerline and for the construction of any works in such an area.
- (i) The applicant shall: Provide to Powercor Australia Ltd, a copy of the version of the plan of subdivision submitted for certification, which shows any amendments which have been required.
- (j) Any buildings must comply with the clearances required by the Electricity Safety (Network Assets) Regulations.
- (k) Any construction work must comply with the Officer of the Chief Electrical Inspector No Go Zone rules.

Signature for the  
Responsible Authority



Date Issued: 5th June, 2012

# PLANNING PERMIT

Permit No. AM/904/2011/G  
Planning Scheme: Greater Bendigo Planning Scheme  
Responsible Authority: Greater Bendigo City Council

**ADDRESS OF THE LAND:** Evergreen Waters Estate - 277 Howard Street, 162 & 184 Jobs Gully Road, JACKASS FLAT 3556

**THE PERMIT ALLOWS:** Staged subdivision of land and removal of an easement; and creation of a restriction (building envelopes) on lots 1-9; 47-59; 63- 67 (all inclusive); and Lot 69

**THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:**

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20. TELSTRA

The plan of subdivision submitted for certification must be referred to Telstra in accordance with Section 8 of the Subdivision Act 1988.

21. TENIX

- (a) Easements in favour of SPI Networks (Gas) Pty Ltd must be created on the plan to the satisfaction of SP AusNet (Gas).
- (b) The plan of subdivision submitted for certification must be referred to SP AusNet (Gas) in accordance with Section 8 of the Subdivision Act 1988.

22. COUNTRY FIRE AUTHORITY

(a) Mandatory condition:

Before the statement of compliance is issued under the Subdivision Act 1988 the owner must enter into an agreement with the responsible authority under Section 173 of the Planning and Environment Act 1987. The agreement must:

- State that it has been prepared for the purpose of an exemption from a planning permit under Clause 44.06-2 of the Greater Bendigo Planning Scheme.

(b) Bushfire Management Plan

The Bushfire Management Plan (Appendix 2 - Drawing No's: 303949-V1-BMP - Sheets 1 & 2, in the BMS prepared by Spiire Australia dated 15/1/2018) must be endorsed to form part of the permit, be included as an annexure to the section 173 agreement and must not be altered unless otherwise agreed in writing by the CFA and the Responsible Authority.

(c) Hydrants:

- Above or below ground operable hydrants must be provided. The maximum distance between these hydrants and the rear of all building envelopes (or in the absence of building envelopes, the rear of the lots) must be 120 metres and the hydrants must be no more than 200 metres apart. These distances must be measured around lot boundaries.
- The hydrants must be identified with marker posts and road reflectors as applicable to the satisfaction of the Country Fire Authority.
- Note – CFA's requirements for identification of hydrants are specified in "Identification of Street Hydrants for Fire fighting Purposes" available under publications on the CFA web site ([www.cfa.vic.gov.au](http://www.cfa.vic.gov.au))

Signature for the  
Responsible Authority



Date Issued: 5th June, 2012

# PLANNING PERMIT

Permit No. **AM/904/2011/G**  
Planning Scheme: **Greater Bendigo Planning Scheme**  
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**THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:**

(d) Roads

- Roads must be constructed to a standard so that they are accessible in all weather conditions and capable of accommodating a vehicle of 15 tonnes for the trafficable road width.
- Proposed roads must have a suitable trafficable width to allow the unimpeded access of emergency fire fighting vehicles (notwithstanding any parking restrictions that Council may apply) to the satisfaction of CFA.
- Dead end roads and cul-de-sac's more than 50m in length from the nearest intersection must have a turning circle with a minimum radius of 8m (including roll-over kerbs if they are provided); T or Y heads of dimensions specified by the CFA may be used as alternatives.
- The average grade must be no more than 1 in 7 (14.4%) (8.1 degrees) with a maximum of no more than 1 in 5 (20%) (11.3 degrees) for no more than 50 meters. Dips must have no more than a 1 in 8 (12%) (7.1 degree) entry and exit angle.
- Curves must have a minimum inner radius of 10 metres.

23. NORTH CENTRAL CMA

- (a) All new allotments must be filled to at least the estimated 1% AEP flood level(s). Prior to issuing a statement of compliance a certified survey plan of the finished surface levels must be submitted to the responsible authority and North Central CMA for its approval.
- (b) Prior to certification a suitable restriction is to be placed on title which specifies the minimum floor level of any new dwelling(s) on each new allotment. The minimum floor level must be no lower than 300mm above the estimated flood level.
- (c) Prior to the commencement of works, appropriate silt control measures must be installed to prevent sediment laden runoff from entering the waterway. The silt control measures must be maintained throughout the construction period.
- (d) Roads must be designed to cater for the safe passage of flood waters. The finished surface level of roads adjacent to the open space containing Jackass Gully must be constructed no lower than 350mm below the estimated 1% AEP flood level(s). Prior to issuing a statement of compliance a certified survey plan of the finished surface levels of the roads adjacent to the open space containing Jackass Gully must be submitted to the responsible authority and North Central CMA for its approval.
- (e) A separate Works on Waterway permit for any works within the bed and banks of the waterway must be obtained directly from the North Central Catchment Management Authority. Please contact North Central CMA on telephone (03) 5440 1896 to obtain a full understanding of these requirements.

Signature for the  
Responsible Authority



Date Issued: 5th June, 2012

# PLANNING PERMIT

Permit No. **AM/904/2011/G**  
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Responsible Authority: **Greater Bendigo City Council**

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**THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:**

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- (f) A landscape plan must be prepared for the open space containing Jackass Gully. This must be prepared by a suitably qualified professional and approved by the responsible authority and North Central CMA. The waterway reserve must be shaped and landscaped to the satisfaction of North Central CMA and the responsible authority.

**24. TRANSPORT FOR VICTORIA**

- (a) Prior to the issue of a Statement of Compliance for any subdivision stage that contains any portion of Jobs Gully Road, Howard Street and Harveys Lane (as identified in the endorsed development plan as a potential bus route), that portion of road must be constructed in accordance with the Public Transport Guidelines for Land Use and Development in order to accommodate public transport access for buses to the satisfaction of the Director of Public Transport.
- (b) Any roundabouts constructed on roads designated a future public transport route within the subdivision, must be designed to accommodate ultra low floor buses, to the satisfaction of the Director of Public Transport.
- (c) Intersections, slow points, splitter islands and the like must be designed and constructed in accordance with the Public Transport Guidelines for Land Use and Development. The use of speed humps, raised platforms, one-way road narrowing and 'weave points' are not accepted on any portion of the potential bus route.

**25. DEPARTMENT OF ENVIRONMENT, LAND, WATER AND PLANNING**

- (a) Prior to the commencement of any works or before the statement of compliance is issued under the Subdivision Act 1988, whichever is sooner, the applicant must provide details of the area of exact losses of native vegetation to be removed under each site or sub-site, in line with the endorsed plans and the Jackass Flat Vegetation Precinct Plan to the satisfaction of the Department of Sustainability and Environment.
- (b) In order to offset the removal of native vegetation approved as part of this permit, the applicant must provide appropriate offsets. To provide the required offset, within 12 months of the native vegetation removal, or before the statement of compliance is issued under the Subdivision Act 1988, whichever is sooner, the applicant or the owner must either:
- Provide to the responsible authority, an Allocated Credit Extract issued by the Department of Sustainability and Environment Native Vegetation Credit Register which satisfies the required offset, or

Signature for the  
Responsible Authority



Date Issued: 5th June, 2012

# PLANNING PERMIT

Permit No. AM/904/2011/G  
Planning Scheme: Greater Bendigo Planning Scheme  
Responsible Authority: Greater Bendigo City Council

**ADDRESS OF THE LAND:** Evergreen Waters Estate - 277 Howard Street, 162 & 184 Jobs Gully Road, JACKASS FLAT 3556

**THE PERMIT ALLOWS:** Staged subdivision of land and removal of an easement; and creation of a restriction (building envelopes) on lots 1-9; 47-59; 63- 67 (all inclusive); and Lot 69

**THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:**

- Provide an offset plan to the responsible authority. The offset plan must be prepared to the satisfaction of the Department of Sustainability and Environment and submitted to and approved by the responsible authority. The offset plan must include:
    - Description of the site where the offset will be provided, including a site plan.
    - Schedule of works to achieve the offset over a 10 year period, detailing:
      - Management actions to be performed (e.g. fencing, weed control, pest control, revegetation).
      - Person(s) responsible for implementing the specific management actions.
      - Timeline for the implementation of management actions.
      - Method by which management actions will be undertaken.
      - Standard to which management actions will be undertaken.
- When approved the offset plan will be endorsed and will then form part of the permit.
- (c) Within twelve months of vegetation removal or prior to the issue of statement of compliance which ever is sooner:
- The endorsed offset site must be permanently protected to the satisfaction of the responsible authority (eg. through encumbrance on title).
  - A copy of the endorsed offset plan and protection mechanism (eg. title showing encumbrance) must be lodged with the department.
- (d) Before works start, a protection fence must be erected around the boundaries of retained native vegetation, outside the canopy of the overstorey and at the extent of the native understorey. The delineated area will define a 'Vegetation Protection Zone'. The protection fence must be constructed to the satisfaction of the Responsible Authority. The tree protection fence must remain in place until all works are completed to the satisfaction of the responsible authority. Adequate signage to indicate the 'Vegetation Protection Zone' must be attached to the protection fence and maintained until all works are completed. Except with the written consent of the responsible authority and approval of the Department of Sustainability and Environment, within the Vegetation Protection Zone there is to be:
- No vehicular or pedestrian access, trenching or soil excavation.
  - No storage or dumping of tools, equipment or waste.
  - No physical damage to vegetation.
  - No works or construction activities.

Signature for the  
Responsible Authority



Date Issued: 5th June, 2012



# PLANNING PERMIT

Permit No. **AM/904/2011/G**  
Planning Scheme: **Greater Bendigo Planning Scheme**  
Responsible Authority: **Greater Bendigo City Council**

**ADDRESS OF THE LAND:** Evergreen Waters Estate - 277 Howard Street, 162 & 184 Jobs Gully Road, JACKASS FLAT 3556

**THE PERMIT ALLOWS:** Staged subdivision of land and removal of an easement; and creation of a restriction (building envelopes) on lots 1-9; 47-59; 63- 67 (all inclusive); and Lot 69

**THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:**

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**26. BUILDING ENVELOPES**

The plan of subdivision must include a building envelope restriction (for lots 1-9; 47-59; 63-67 (all inclusive); and Lot 69) in accordance with the endorsed plan. No building may be constructed outside the building envelopes shown on the endorsed plan.

**27. GOLDEN PARK ESTATE DESIGN GUIDE – REAR LOADED LOTS**

The design guide is an endorsed document under the Planning Permit and must be registered on title in the form of a Memorandum of Common Provisions pursuant to Section 91A of the Transfer of Land Act, 1958.

**28. EXPIRY OF THE PERMIT**

This permit will expire unless:

- (a) All stages of the approved subdivision have been certified within ten years of the date of this permit; or
- (b) Any stage of the approved subdivision is not completed within five years of the certification of the plan of subdivision under the Subdivision Act 1988.

The responsible authority may extend the time for certification of a plan of any stage of the subdivision if a request is made in writing before the permit expires, or thereafter, within the period allowed by section 69 of the Planning and Environment Act 1987.

**NOTE:** Flood levels for the 1% AEP probability (100 year ARI) have not been designated or declared for this area under the Water Act 1989. However, North Central CMA's best estimate of the 1% flood level for the location described above is 202.15 metres AHD at the upstream property boundary down to 198.7 metres AHD at CS799 of Phase 1 of Evergreen Waters as identified in the Evergreen Waters Phase 2 Hydraulic Impact Assessment Final Report 2011 (by GHD).

**NOTE:** Works or any other activities on public land which may impact on protected native plants will require a Protected Flora Licence or Permit in respect of the Flora and Fauna Guarantee (FFG) Act 1988. All native vegetation likely to be impacted should be checked against the Protected Flora List (DSE 2010) to determine whether FFG approvals are required. Protected Flora Permits can be obtained through the regional departmental office.

Signature for the  
Responsible Authority



Date Issued: 5th June, 2012

# PLANNING PERMIT

Permit No. **AM/904/2011/G**  
 Planning Scheme: **Greater Bendigo Planning Scheme**  
 Responsible Authority: **Greater Bendigo City Council**

**ADDRESS OF THE LAND:** **Evergreen Waters Estate - 277 Howard Street, 162 & 184 Jobs Gully Road, JACKASS FLAT 3556**

**THE PERMIT ALLOWS:** **Staged subdivision of land and removal of an easement; and creation of a restriction (building envelopes) on lots 1-9; 47-59; 63- 67 (all inclusive); and Lot 69**

**THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:**

This permit has been amended as follows:

<b>Date:</b>	<b>Brief Description of Amendment:</b>	<b>Authority:</b>
10 August 2012	Condition 22 - CFA vegetation management was corrected.	City of Greater Bendigo
31 July 2013	The expiry provisions of the permit (Condition 26) have been revised.	City of Greater Bendigo
2 March 2012	Condition 14 (Harveys Lane Upgrade) has been revised.	City of Greater Bendigo
14 September 2017	<ul style="list-style-type: none"> <li>Statement of what the permit allows amended to include reference to the creation of a restriction (building envelopes) on nominated lots.</li> <li>New conditions (26 and 27) included in the permit with respect to the creation of building envelopes and the need for the Golden Park Estate Design Guidelines to be registered on Title.</li> </ul>	City of Greater Bendigo
12 January 2018	Change to Stage number in Condition 14 (Harveys Lane upgrade)	City of Greater Bendigo
24 April 2018	<ul style="list-style-type: none"> <li>Reduced forest setback (north eastern boundary) from 30 to 26 metres;</li> <li>Inclusion of construction of dwellings under the Design and Development Overlay Schedule 6;</li> <li>Inclusion of permission (and relevant CFA/mandatory conditions) under the Bushfire Management Overlay; and</li> <li>Deletion of condition 22 replaced with a new Condition 22 consistent with the Country Fire Authority conditional consent to the amendment of the permit dated 19 February 2018</li> </ul>	City of Greater Bendigo

Signature for the  
Responsible Authority



Date Issued: 5th June, 2012

## IMPORTANT INFORMATION ABOUT THIS PERMIT

### WHAT HAS BEEN DECIDED?

The responsible authority has issued a permit.

(Note: This is not a permit granted under Division 5 or 6 of Part 4 of the *Planning & Environment Act 1987*)

### CAN THE RESPONSIBLE AUTHORITY AMEND THIS PERMIT?

The responsible authority may amend this permit under Division 1A of Part 4 of the *Planning & Environment Act 1987*.

### WHEN DOES A PERMIT BEGIN?

A permit operates:

- from the date specified in the permit, or
- if no date is specified, from:
  - (i) the date of the decision of the Victorian Civil & Administrative Tribunal, if the permit was issued at the direction of the Tribunal, or
  - (ii) the date on which it was issued, in any other case.

### WHEN DOES A PERMIT EXPIRE?

1. A permit for the development of land expires if –
  - the development or any stage of it does not start within the time specified in the permit, or
  - the development requires the certification of a plan of subdivision or consolidation under the *Subdivision Act 1988* and the plan is not certified within two years of the issue of the permit, unless the permit contains a different provision; or
  - the development or any stage is not completed within the time specified in the permit, or if no time is specified, within two years after the issue of the permit or in the case of a subdivision or consolidation within five years of the certification of the plan of subdivision or consolidation under the *Subdivision Act 1988*.
2. A permit for the use of land expires if –
  - the use does not start within the time specified in the permit, or if no time is specified, within two years after the issue of the permit, or
  - the use is discontinued for a period of two years.
3. A permit for the development and use of the land expires if –
  - the development or any stage of it does not start within the time specified in the permit; or
  - the development or any stage of it is not completed within the time specified in the permit, or if no time is specified, within two years after the issue of the permit; or
  - the use does not start within the time specified in the permit, or, if no time is specified, within two years after the completion of the development; or
  - the use is discontinued for a period of two years.
4. If a permit for the use of land or the development and use of land or relating to any of the circumstances mentioned in Section 6A(2) of the *Planning and Environment Act 1987*, or to any combination of use, development or any of those circumstances requires the certification of a plan under the *Subdivision Act 1988*, unless the permit contains a different provision –
  - the use or development of any stage is to be taken to have started when the plan is certified; and
  - the permit expires if the plan is not certified within two years of the issue of the permit.
5. The expiry of a permit does not affect the validity of anything done under the permit before the expiry.

### WHAT ABOUT REVIEWS?

- The person who applied for the permit may apply for a review of any condition in the permit unless it was granted at the direction of the Victorian Civil & Administrative Tribunal, in which case no right of review exists.
- An application for review must be lodged within 60 days after the permit was issued, unless a notice of decision to grant a permit has been issued previously, in which case the application for review must be lodged within 60 days after the giving of that notice.
- An application for review is lodged with the Victorian Civil & Administrative Tribunal.
- An application for review must be made on the relevant form which can be obtained from the Victorian Civil & Administrative Tribunal, and be accompanied by the applicable fee.
- An application for review must state the grounds upon which it is based.
- A copy of an application for review must also be served on the responsible authority.
- Details about applications for review and the fees payable can be obtained from the Victorian Civil & Administrative Tribunal.

# PLANNING PERMIT

Permit No. **AM/226/2010/B**  
Planning Scheme: **Greater Bendigo Planning Scheme**  
Responsible Authority: **Greater Bendigo City Council**

**ADDRESS OF THE LAND:** **Evergreen Waters Estate - Jobs Gully Road, Harveys Lane, Callaghan Street and Howard Street, JACKASS FLAT 3556**

**THE PERMIT ALLOWS:** **Staged subdivision of land, removal of native vegetation and removal of an easement**

**THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:**

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1. **PLANS TO BE ENDORSED**

The plans to be endorsed and which will then form part of the permit are the plans submitted with the application.

2. **LAYOUT PLANS**

The subdivision, as shown on the endorsed plans, must not be altered without the prior written consent of the responsible authority.

3. **STAGED SUBDIVISION**

The subdivision must proceed in the order of stages as shown on the endorsed plan unless otherwise agreed in writing by the responsible authority.

4. **PUBLIC OPEN SPACE CONTRIBUTION**

The Jackass Gully area shown on the endorsed plan as "open space" must be set aside as a public open space contribution to Council.

5. **JACKASS GULLY LANDSCAPING**

Before a plan of subdivision is certified for Stage 2 a landscape plan must be submitted to and approved by the responsible authority for the Jackass Gully public open space. When approved, the plan will be endorsed and then form part of the permit. The plan must show:

- (a) The staged hand-over of the public open space to Council, where appropriate.
- (b) Compliance with the landscape section of the Infrastructure Design Manual.
- (c) Estimated maintenance requirements for Council.

6. **JACKASS GULLY LANDSCAPING MAINTENANCE**

The Jackass Gully landscaping works shown on the endorsed plans must be maintained to the satisfaction of the responsible authority for 12 months after the works are completed, including that any dead, diseased or damaged plants are to be replaced.

7. **ROAD RESERVE LANDSCAPE PLAN**

Before a plan of subdivision is certified for each stage of the subdivision a road reserve landscape plan to the satisfaction of the responsible authority, must be submitted to and approved by the responsible authority. When approved, the plan will be endorsed and then form part of the permit.

8. **COMPLETION OF ROAD RESERVE LANDSCAPING**

Before a statement of compliance is issued for each stage of the subdivision, the road reserve landscaping works shown on the endorsed plan must be carried out and completed to the satisfaction of the responsible authority.

Signature for the  
Responsible Authority



Date Issued: 6/8/2010

# PLANNING PERMIT

Permit No. **AM/226/2010/B**  
Planning Scheme: **Greater Bendigo Planning Scheme**  
Responsible Authority: **Greater Bendigo City Council**

**ADDRESS OF THE LAND:** **Evergreen Waters Estate - Jobs Gully Road, Harveys Lane, Callaghan Street and Howard Street, JACKASS FLAT 3556**

**THE PERMIT ALLOWS:** **Staged subdivision of land, removal of native vegetation and removal of an easement**

**THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:**

**9. ROAD RESERVE LANDSCAPING MAINTENANCE**

The road reserve landscaping works shown on the endorsed plans must be maintained to the satisfaction of the responsible authority for 12 months after the works are completed, including that any dead, diseased or damaged plants are to be replaced.

**10. CREATION OF RESTRICTION**

The plan of subdivision must include a restriction that: dwellings must not be constructed within a 30m buffer from the Regional Park as shown on the endorsed plan.

**11. SALINITY**

**Testing:**

Before a statement of compliance is issued for each stage of the subdivision, the area must be tested for salinity to the satisfaction of the responsible authority. The testing must consider the matters described in Planning Guidelines for Urban Salinity in the City of Greater Bendigo and the views of the North Central Catchment Management Authority.

**Guidelines:**

Before a statement of compliance is issued for each stage of the subdivision, and where testing shows that saline groundwater is present at a depth of 1.6m-2.5m, guidelines must be prepared to the satisfaction of the responsible authority. The guidelines must include:

- (a) Geo-technical standards for the construction of dwellings on the lots.
- (b) Methods that lot owners could use to conserve water, improve the soil and undertake plantings in response to the shallow saline groundwater.

**Section 173 Agreement:**

Before a statement of compliance is issued for each stage of the subdivision, the owner must enter into an agreement with the responsible authority and register the agreement on the titles to the relevant lots which provides that:

- (a) Dwellings on lots affected by saline groundwater, where the depth to the water table is 1.6m-2.5m, will be constructed in accordance with the guidelines approved under this permit.
- (b) No dwellings will be constructed on lots where the depth to the water table is 0m-1.5m.

**12. DETAILED DRAINAGE**

Prior to the certification of the plan of subdivision under the Subdivision Act 1988, plans to the satisfaction of the responsible authority must be submitted to and approved by the responsible authority. When approved, the plans will be endorsed and then will form part of the permit. The plans must be drawn to scale with dimensions. The plans must include:

- (a) Direction of stormwater run off.
- (b) A point of discharge for each lot.
- (c) Independent drainage for each lot.
- (d) Approval from the relevant authority for the point of discharge.

Signature for the  
Responsible Authority



Date Issued: 6/8/2010

# PLANNING PERMIT

Permit No. **AM/226/2010/B**  
Planning Scheme: **Greater Bendigo Planning Scheme**  
Responsible Authority: **Greater Bendigo City Council**

**ADDRESS OF THE LAND:** **Evergreen Waters Estate - Jobs Gully Road, Harveys Lane, Callaghan Street and Howard Street, JACKASS FLAT 3556**

**THE PERMIT ALLOWS:** **Staged subdivision of land, removal of native vegetation and removal of an easement**

**THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:**

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**13. DRAINAGE EASEMENTS**

The subdivision must provide easements for drainage within and through the subject land for external outfall drainage to a point of lawful discharge to the satisfaction of the responsible authority.

**14. STORMWATER DETENTION**

Prior to the issue of a statement of compliance, the owner or applicant must provide onsite surface and stormwater detention to pre-development levels in accordance with plans and specifications to the satisfaction of the responsible authority. Allowable discharge:

$Q_5 = 31$  l/s per hectare,  $Q_{100} = 71$  l/s per hectare.

Where the North Central CMA, or equivalent waterway authority, does not require stormwater detention this condition shall be waived.

**15. STORMWATER QUALITY**

Before the use or development is commenced, the owner or applicant must provide a stormwater treatment system to achieve the "Best Practice Environmental Guidelines" storm water quality (Victoria Stormwater Committee, 1999) in accordance with plans and specifications to the satisfaction of the responsible authority.

Staging of the implementation of the water quality works is acceptable. Where required the applicant must submit a detailed staging process for implementation of water quality works.

**16. DRAINAGE WORKS**

Prior to the issue of the statement of compliance for the subdivision, drainage works must be constructed in accordance with plans approved by the responsible authority.

**17. CONSTRUCTION OF WORKS**

Road works, drainage and other civil works must be constructed in accordance with the "Infrastructure Design Manual" and plans and specifications approved by the responsible authority and must include:

- (a) Fully sealed pavement with kerb and channel.
- (b) Paved footpaths.
- (c) Shared pedestrian/bicycle paths where required.
- (d) Underground drainage.
- (e) Bus parking bays where identified.
- (f) Underground conduits for water, gas, electricity and telephone.
- (g) Appropriate intersection and traffication measures.
- (h) Appropriate street lighting and signage.
- (i) High stability permanent survey marks.

Signature for the  
Responsible Authority



Date Issued: 6/8/2010

# PLANNING PERMIT

Permit No. **AM/226/2010/B**  
Planning Scheme: **Greater Bendigo Planning Scheme**  
Responsible Authority: **Greater Bendigo City Council**

**ADDRESS OF THE LAND:** **Evergreen Waters Estate - Jobs Gully Road, Harveys Lane, Callaghan Street and Howard Street, JACKASS FLAT 3556**

**THE PERMIT ALLOWS:** **Staged subdivision of land, removal of native vegetation and removal of an easement**

**THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:**

**Callaghan Street:**

Prior to the issue of the statement of compliance of Stage 7, as identified in the "Staging Plan 09054 Version 2" Callaghan Street shall be sealed from the boundary of the subject land to Watson Street at a "Rural Living Collector Road" standard. The developer must contribute 25% of the costs of these works.

**Jobs Gully Road /Averys Road Intersection:**

Council will undertake intersection works at Jobs Gully Road/Averys Road once approximately 80% of the lots east of Jackass Gully are developed. Upon completion of the intersection works the developer must pay to Council 25% of the cost of these works.

**18. DECORATIVE LIGHTING**

The applicant shall submit for approval full details of any proposed decorative lighting to the Responsible Authority prior to commencement of works. Prior to the issue of the statement of compliance the applicant will make payment to the Responsible Authority in accordance with Table 15 of the "Infrastructure Design Manual".

**19. COUNCIL'S ASSETS**

Before the development starts, the owner or developer must submit to the responsible authority a written report and photos of any prior damage to public infrastructure. Listed in the report must be the condition of kerb and channel, footpath, seal, street lights, signs and other public infrastructure fronting the property and abutting at least two properties either side of the development. Unless identified with the written report, any damage to infrastructure post construction will be attributed to the development. The owner or developer of the subject land must pay for any damage caused to any public infrastructure caused as a result of the development or use permitted by this permit.

**20. CONSTRUCTION MANAGEMENT PLAN**

Prior to commencement of works the owner or applicant must submit a "Construction Management Plan" (CMP) for approval by the responsible authority. This plan shall include, but not be limited to:

- (a) A site specific plan showing proposed erosion & sedimentation control works.
- (b) Techniques and intervention levels to prevent a dust nuisance.
- (c) Techniques to prevent mud and dirt being transported from the site to adjacent streets.
- (d) The protection measures taken to preserve any vegetation identified for retention.

During construction of works associated with the subdivision, the must employ and provide the protection methods contained in the CMP to the satisfaction of the responsible authority and the Environment Protection Agency.

**21. COLIBAN WATER**

- (a) The applicant or owner is required to reach agreement with Coliban Water for the provision of reticulated water and sewerage services to each of the lots within the subdivision and comply with any requirements arising from any effect of the proposed development on Coliban Water assets.

Signature for the  
Responsible Authority



Date Issued: 6/8/2010

# PLANNING PERMIT

Permit No. AM/226/2010/B  
Planning Scheme: Greater Bendigo Planning Scheme  
Responsible Authority: Greater Bendigo City Council

**ADDRESS OF THE LAND:** Evergreen Waters Estate - Jobs Gully Road, Harveys Lane, Callaghan Street and Howard Street, JACKASS FLAT 3556

**THE PERMIT ALLOWS:** Staged subdivision of land, removal of native vegetation and removal of an easement

**THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:**

- 
- (b) Site Management Plans as per the Public Open Space HEMP will be required for the sports oval and surrounds, including the possible water feature.
  - (c) The applicant is to provide evidence to the satisfaction of Coliban Water that existing private water pipes and sanitary drains do not cross the boundaries between lots. Where modifications to pipes or drains are required in order to satisfy this requirement, all work is to be carried out in accordance with AS3500 National Plumbing and Drainage Code of Australia and the relevant requirements of Coliban Water. Works to modify Coliban Water assets may only commence with prior approval by Coliban Water.
  - (d) All Coliban Water assets within the subdivision, both existing and proposed, are to be protected by Registered Easement in favour of Coliban Region Water Corporation.
  - (e) All proposed sewers must be located at least 1 metre from an existing or proposed structure/boundary.

**22. POWERCOR**

- (a) The plan of subdivision submitted for certification under the Subdivision Act 1988 shall be referred to Powercor Australia Ltd in accordance with Section 8 of that Act.
- (b) The applicant shall: Provide an electricity supply to all lots in the subdivision in accordance with Powercor's requirements and standards, including the extension, augmentation or re-arrangement of any existing electricity supply system, as required by Powercor (A payment to cover the cost of such work will be required). In the event that a supply is not provided the applicant shall provide a written undertaking to Powercor Australia Ltd that prospective purchasers will be so informed.
- (c) The applicant shall: Where buildings or other installations exist on the land to be subdivided and are connected to the electricity supply, they shall be brought into compliance with the Service and Installation Rules issued by the Victorian Electricity Supply Industry. The applicant shall arrange compliance through a Registered Electrical Contractor.
- (d) The applicant shall: Set aside on the plan of subdivision for the use of Powercor Australia Ltd reserves and/or easements, and/or leases, satisfactory to Powercor Australia Ltd where any electric substation (other than a pole mounted type) is required to service the subdivision.
- (e) The applicant shall: Provide easements satisfactory to Powercor Australia Ltd, where easements have not been otherwise provided, for all existing Powercor Australia Ltd electric lines on the land and for any new powerlines required to service the lots and adjoining land, save for lines located, or to be located, on public roads set out on the plan. These easements shall show on the plan an easement(s) in favour of "Powercor Australia Ltd" for "Powerline Purposes" pursuant to Section 88 of the Electricity Industry Act 2000.
- (f) The applicant shall: Obtain for the use of Powercor Australia Ltd any other easement external to the subdivision required to service the lots.
- (g) The applicant shall: Adjust the position of any existing easement(s) for powerlines to accord with the position of the line(s) as determined by survey.
- (h) The applicant shall: Obtain Powercor Australia Ltd's approval for lot boundaries within any area affected by an easement for a powerline and for the construction of any works in such an area.
- (i) The applicant shall: Provide to Powercor Australia Ltd, a copy of the version of the plan of

Signature for the  
Responsible Authority



Date Issued: 6/8/2010



# PLANNING PERMIT

Permit No. **AM/226/2010/B**  
Planning Scheme: **Greater Bendigo Planning Scheme**  
Responsible Authority: **Greater Bendigo City Council**

**ADDRESS OF THE LAND:** **Evergreen Waters Estate - Jobs Gully Road, Harveys Lane, Callaghan Street and Howard Street, JACKASS FLAT 3556**

**THE PERMIT ALLOWS:** **Staged subdivision of land, removal of native vegetation and removal of an easement**

**THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:**

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subdivision submitted for certification, which shows any amendments which have been required.

23. TELSTRA

The plan of subdivision submitted for certification must be referred to Telstra in accordance with Section 8 of the Subdivision Act 1988.

24. TENIX

- (a) Easements in favour of SPI Networks (Gas) Pty Ltd must be created on the plan to the satisfaction of SP AusNet (Gas).
- (b) The plan of subdivision submitted for certification must be referred to SP AusNet (Gas) in accordance with Section 8 of the Subdivision Act 1988.

25. COUNTRY FIRE AUTHORITY

Hydrants:

- (a) Operable hydrants, above or below ground must be provided to the satisfaction of CFA.
- (b) The maximum distance between these hydrants and the rear of all building envelopes (or in the absence of the building envelope, the rear of all lots) must be 120m and hydrants must be no more than 200m apart.
- (c) Hydrants must be identified as specified in 'Identification of Street Hydrants for Firefighting purposes' available under publication on the Country Fire Authority web site ([www.cfa.vic.gov.au](http://www.cfa.vic.gov.au)).

Roads:

- (a) Roads must be constructed to a standard so that emergency vehicles have access to all parts of the development without impediment and are accessible in all weather conditions and capable of accommodating a vehicle of 15 tonnes for the trafficable road width.
- (b) The average grade must be no more than 1 in 7 (14.4%) (8.1 degrees) with a maximum of no more than 1 in 5 (20%) (11.3 degrees) for no more than 50m. Dips must have no more than a 1 in 8 (12%) (7.1 degree) entry and exit angle.

Setback:

- (a) A minimum setback of 30m must be provided between the native vegetation of the Regional Park and all dwellings of the proposed new development.
- (b) No part of a dwelling should encroach on these setback.
- (c) A fence constructed of non-combustible materials be constructed along any property boundaries that abuts the Regional Park and Forested Private land the fence must be a minimum height of 1.8m.

26. NORTH CENTRAL CMA

- (a) All new allotments must be filled to at least the estimated 1% AEP flood level(s).
- (b) Prior to issuing a statement of compliance a certified survey plan of the finished surface levels must be submitted to the responsible authority and North Central CMA for its approval.

Signature for the  
Responsible Authority



Date Issued: 6/8/2010

# PLANNING PERMIT

Permit No. AM/226/2010/B  
Planning Scheme: Greater Bendigo Planning Scheme  
Responsible Authority: Greater Bendigo City Council

**ADDRESS OF THE LAND:** Evergreen Waters Estate - Jobs Gully Road, Harveys Lane, Callaghan Street and Howard Street, JACKASS FLAT 3556

**THE PERMIT ALLOWS:** Staged subdivision of land, removal of native vegetation and removal of an easement

**THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:**

- (c) Prior to the commencement of any works, appropriate silt control measures must be installed to prevent sediment laden runoff from entering the waterway. The silt control measures must be maintained throughout the construction period.
- (d) Roads must be designed to cater for the safe passage of flood waters. The finished surface level of roads adjacent to the open space containing Jackass Gully must be constructed no lower than 350mm below the estimated 1% AEP flood level(s).
- (e) A landscape plan must be prepared for the open space containing Jackass Gully. This must be prepared by a suitably qualified professional and approved by the responsible authority and the North Central CMA. Prior to issuing a statement of compliance, the waterway reserve must be shaped and landscaped to the satisfaction of North Central CMA and the responsible authority.

**27. DEPARTMENT OF TRANSPORT**

Roads identified for public transport access must be constructed to accommodate buses in accordance with the Public Transport Guidelines for Land Use and Development to the satisfaction of the Director of Public Transport.

**28. DEPARTMENT OF SUSTAINABILITY AND ENVIRONMENT**

**Offsets:**

Prior to the issuing the statement of compliance for the subdivision and prior to commencement of clearing works, an Offset Plan to the satisfaction of the Department of Sustainability and Environment must be submitted to and approved by the responsible authority. When approved the plan will be endorsed and form part of this permit. The plans must be drawn to scale with dimensions and three copies must be provided. The Offset Plan must show appropriate offsets of a loss of:

- (a) 0.05 habitat hectares of low conservation significance Box Ironbark Forest EVC.
- (b) 0.16 habitat hectares of medium conservation significance Box Ironbark Forest EVC.
- (c) 0.11 habitat hectares of high conservation significance Grassy Woodland EVC.
- (d) 0.02 habitat hectares of high conservation significance Alluvial Terraces Herb-rich Woodland EVC including 2 large old trees.
- (e) 1 very large old tree and 2 medium trees of high conservation significance scattered trees in Alluvial Terraces Herb-rich Woodland EVC.
- (f) 5 small trees of low conservation significance scattered trees in Alluvial Terraces Herb-rich Woodland EVC.
- (g) 3 large old trees and 6 medium trees of scattered trees in Grassy Woodland EVC.
- (h) 62 small trees of low conservation significance scattered trees in Grassy Woodland EVC.
- (i) 2 large old trees, 3 medium trees and 20 small trees of low conservation significance scattered trees in Box Ironbark Forest EVC.

The Offset Plan must include but is not limited to the following:

- (a) Means of calculating the offsets.
- (b) Locations where offsets will be provided.
- (c) Type of offsets to be provided for each location.

Signature for the  
Responsible Authority



Date Issued: 6/8/2010

# PLANNING PERMIT

Permit No. **AM/226/2010/B**  
Planning Scheme: **Greater Bendigo Planning Scheme**  
Responsible Authority: **Greater Bendigo City Council**

**ADDRESS OF THE LAND:** **Evergreen Waters Estate - Jobs Gully Road, Harveys Lane, Callaghan Street and Howard Street, JACKASS FLAT 3556**

**THE PERMIT ALLOWS:** **Staged subdivision of land, removal of native vegetation and removal of an easement**

**THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:**

- 
- (d) Details of works to be undertaken to achieve the required gain.
  - (e) Details of local indigenous revegetation including number of trees, shrubs and other plants, species mix and density appropriate to the EVC where the offset will be located.
  - (f) Means of interim protection for newly established vegetation.
  - (g) Methods of permanent protection for the offsets.
  - (h) Persons responsible for implementing and monitoring the offset plans.
  - (i) Timeframes for implementing the offset plans.
  - (j) Details of any earthworks, drainage and other works.

**Tree hollows – examination for the presence of fauna:**

Prior to felling, trees identified for removal must be examined by a qualified zoologist for the presence of fauna, including those using external nests (e.g. Common Ringtail Possums, bird nests) and tree hollows. If native fauna species are located, they are to be salvaged and relocated in accordance with all relevant legislation and approvals, further to consultation with the Department of Sustainability and Environment.

**Retained vegetation management:**

- (a) To prevent damage to remaining vegetation there must be no temporary or permanent storage of any materials, vehicles or equipment within areas of native vegetation identified to be retained in accordance with the endorsed plans. All storage sites must be restricted to existing cleared areas close to existing roads and tracks, and must not adversely impact upon native vegetation, including the root zones of existing trees. Such sites must not be located on or near erodible surfaces, surface water runoff areas or areas infested with weeds.
- (b) Before the vegetation removal starts, the boundaries of all vegetation to be removed and retained must be clearly marked on the ground /with tape/with temporary fencing to the satisfaction of the Responsible Authority.
- (c) Removal must be in accord with the endorsed plan.

**29. EXPIRY OF THE PERMIT**

This permit will expire unless:

- (a) All stages of the approved subdivision have been certified within ten years of the date of this permit; or
- (b) Any stage of the approved subdivision is not completed within five years of the certification of the plan of subdivision under the Subdivision Act 1988.

The responsible authority may extend the time for certification of a plan of any stage of the subdivision if a request is made in writing before the permit expires, or thereafter, within the period allowed by section 69 of the Planning and Environment Act 1987.

**NOTE:** A separate "Works on Waterway" permit for any drainage works must be obtained directly from the North Central Catchment Management Authority. Please contact Adrian Bathgate on telephone (03) 5440 1896 to obtain a full understanding of the North Central CMA's requirements.

Signature for the  
Responsible Authority



Date Issued: 6/8/2010

# PLANNING PERMIT

Permit No. **AM/226/2010/B**  
 Planning Scheme: **Greater Bendigo Planning Scheme**  
 Responsible Authority: **Greater Bendigo City Council**

**ADDRESS OF THE LAND:** **Evergreen Waters Estate - Jobs Gully Road, Harveys Lane, Callaghan Street and Howard Street, JACKASS FLAT 3556**

**THE PERMIT ALLOWS:** **Staged subdivision of land, removal of native vegetation and removal of an easement**

**THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:**

---

NOTE: Flood levels for the 1% AEP probability (100 year ARI) have not been designated or declared for this area under the Water Act 1989. However, North Central CMA's best estimate of the 1% flood level for the site is 199.25m AHD at the southern boundary (Harveys Lane) down to 194.78m AHD at the northern site boundary (Howard Street).

**THIS PERMIT HAS BEEN AMENDED AS FOLLOWS:**

Date	Brief description of amendment
14/3/2012	Coliban Water requirements revised (Condition 21) and Tenix requirements added (Condition 24).
31/7/2013	The expiry provisions of the permit (Condition 29) have been amended.

*Template Vendor Statement and amendments which may be subject to variations and amendments*

Signature for the  
Responsible Authority



Date Issued: 6/8/2010

## IMPORTANT INFORMATION ABOUT THIS PERMIT

### WHAT HAS BEEN DECIDED?

The Responsible Authority has issued a permit.

(Note: This is not a permit granted under Division 5 of Part 4 of the *Planning & Environment Act 1987*)

### WHEN DOES A PERMIT BEGIN?

A permit operates:

- from the date specified in the permit, or
- if no date is specified, from:
  - (i) the date of the decision of the Victorian Civil & Administrative Tribunal, if the permit was issued at the direction of the Tribunal, or
  - (ii) the date on which it was issued, in any other case.

### WHEN DOES A PERMIT EXPIRE?

- A permit for the development of land expires if –
  - the development or any stage of it does not start within the time specified in the permit, or
  - the development requires the certification of a plan of subdivision or consolidation under the *Subdivision Act 1988* and the plan is not certified within two years of the issue of the permit, unless the permit contains a different provision; or
  - the development or any stage is not completed within the time specified in the permit, or if no time is specified, within two years after the issue of the permit or in the case of a subdivision or consolidation within 5 years of the certification of the plan of subdivision or consolidation under the *Subdivision Act 1988*.
- A permit for the use of land expires if –
  - the use does not start within the time specified in the permit, or if no time is specified, within two years after the issue of the permit, or
  - the use is discontinued for a period of two years.
- A permit for the development and use of the land expires if –
  - the development or any stage of it does not start within the time specified in the permit; or
  - the development or any stage of it is not completed within the time specified in the permit, or if no time is specified, within two years after the issue of the permit; or
  - the use does not start within the time specified in the permit, or, if no time is specified, within two years after the completion of the development; or
  - the use is discontinued for a period of two years.
- If a permit for the use of land or the development and use of land or relating to any of the circumstances mentioned in Section 6A(2) of the *Planning and Environment Act 1987*, or to any combination of use, development or any of those circumstances requires the certification of a plan under the *Subdivision Act 1988*, unless the permit contains a different provision –
  - the use or development of any stage is to be taken to have started when the plan is certified; and
  - the permit expires if the plan is not certified within two years of the issue of the permit.
- The expiry of a permit does not affect the validity of anything done under the permit before the expiry.

### WHAT ABOUT APPEALS?

- The person who applied for the permit may apply for a review of any condition in the permit unless it was granted at the direction of the Victorian Civil & Administrative Tribunal where, in which case no right of appeal exists.
- An application for review must be lodged within 60 days after the permit was issued, unless a Notice of Decision to grant a permit has been issued previously, in which case the application for review must be lodged within 60 days after the giving of that notice.
- An application for review is lodged with the Victorian Civil & Administrative Tribunal.
- An application for review must be made on an Application for Review form which can be obtained from the Civil & Administrative Tribunal, and be accompanied by the applicable fee.
- An application for review must state the grounds upon which it is based.
- An application for review must also be served on the Responsible Authority.
- Details about applications for review and the fees payable can be obtained from the Victorian Civil & Administrative Tribunal.

Planning Services  
City of Greater Bendigo  
15 Hopetoun Street,  
PO Box 733, Bendigo 3552

Telephone: (03) 5434 6355  
Facsimile: (03) 5434 6334

[www.bendigo.vic.gov.au](http://www.bendigo.vic.gov.au)

PLANNING AND ENVIRONMENT ACT  
GREATER BENDIGO PLANNING SCHEME  
APPROVED DEVELOPMENT PLAN

AM 1404/10/11/5

For and on behalf of the City of Greater Bendigo

Date 21/4/18

Signature

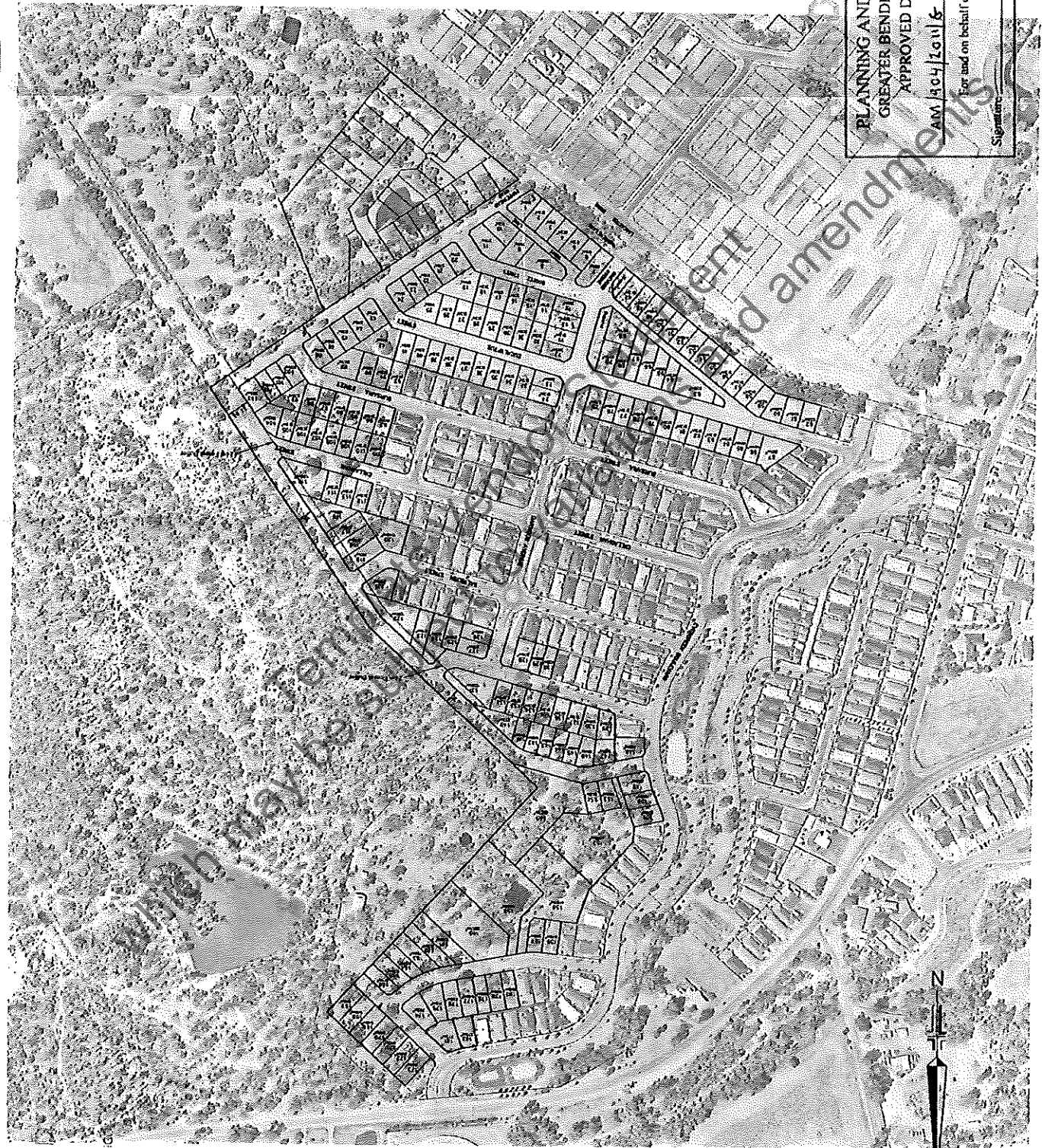
REV	AMENDMENT		
Drawn By	SP	Checked By	CC
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Drawing No.	303949-V1-DP	Version	1
Date	05/12/2017	Sheet	1 of 1

spire

16 Bridge Street  
Bendigo VIC 3550  
T 61 3 5448 2500  
spire.com.au

Coordinate Datum MGASS  
Scale A3 1:4000  
Lengths are in metres  
40 0 40 80 120

Development Plan  
Golden Grove Estate  
Lancaster Drive, Jackass Flat



2018 JAN 22  
BENDIGO CITY COUNCIL  
CITY OF GREATER BENDIGO  
PLANNING AND ENVIRONMENT  
DEPARTMENT



**GENERAL**

1. All dimensions shown are in metres.

**DEFENDABLE SPACE**

2. Grass must be short cropped and maintained during the declared fire danger period.
3. All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
4. Within 10 metres of a building, flammable objects must not be located close to the vulnerable parts of the building.
5. Plants greater than 10 centimetres in height must not be placed within 3m of a window or other glass feature of the building.
6. Shrubs must not be located under the canopy of trees.
7. Individual and clumps of shrubs must not exceed 5sq metres in area and must be separated by at least 5 metres.
8. Trees must not overhang or touch any elements of the building.
9. The canopy of trees must be separated by at least 5 metres.
10. There must be a clearance of at least 2 metres between the lowest tree branches and ground level.

**BUILDING CONSTRUCTION**

11. Buildings will be designed and constructed to the minimum Bushfire Attack Level designated for the site in accordance with AS3959-2009.

**WATER SUPPLY**

12. Each dwelling must have 5,000 litres of effective water supply that is maintained and used solely for fire fighting purposes which will meet the following requirements:
  - Stored in an above ground water tank constructed of concrete or metal.
  - All fixed above-ground water pipes and fittings required for firefighting purposes made of corrosion resistant metal.
  - Include a separate outlet for occupant use (the water supply may be in the same tank as other water supplies provided that a separate outlet is reserved for fire fighting water supplies).

**ACCESS**

14. For driveways that are less than 30 metres in length (measured from the public road to either the building or the water supply outlet, whichever is longer) there are no design and construction requirements.

**PLANNING AND ENVIRONMENT ACT  
GREATER BENDIGO PLANNING SCHEME  
PLAN REFERRED TO IN PLANNING PERMIT**

No: **AA/1904/2011/6**

For and on behalf of the City of Greater Bendigo  
Date: **24.1.4.13**

Date	14/12/2017	Sheet	1	of	3
Drawing No.	303946-V1-BMP	Version	1		
CAD Ref.	G:\3030348\PLANNING\ACAD	Checked By	CC		
Drawn By	SP	REV	AMENDMENT	DATE	

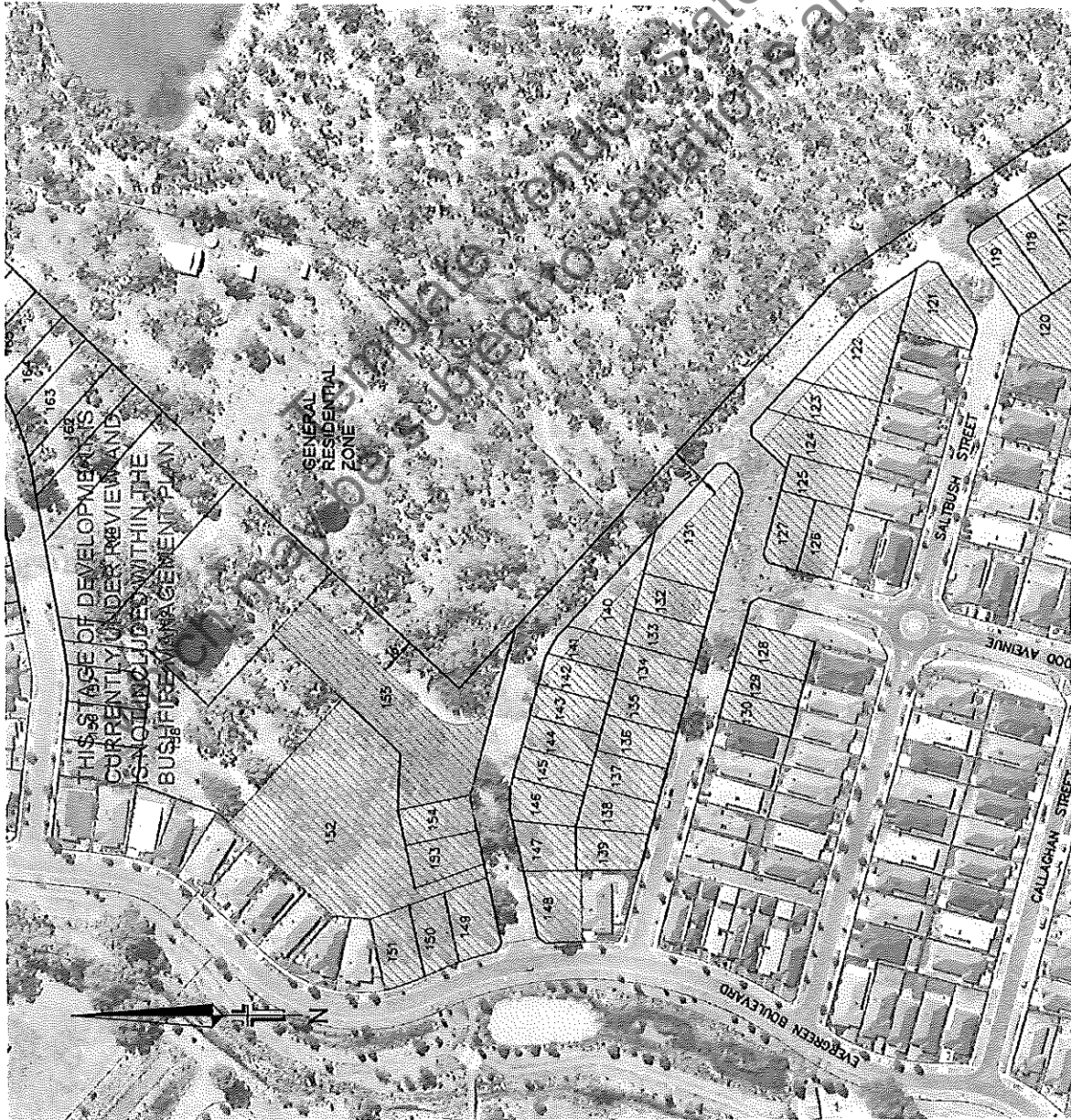
**Bushfire Management Plan  
Golden Grove Estate  
Lancaster Drive, Jackass Flat**

Co-ordinate Datum: **MGASS** Scale: **A3** 1:2000

Lengths are in metres

16 Bridge Street  
PO Box 1064  
Bendigo Vic 3550  
T 61 3 5448 2500  
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**GENERAL**

- All dimensions shown are in metres.
- DEFENDABLE SPACE**
- Grass must be short cropped and maintained during the declared fire danger period.
  - All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
  - Within 10 metres of a building, flammable objects must not be located close to the vulnerable parts of the building.
  - Plants greater than 10 centimetres in height must not be placed within 3m of a window or other glass feature of the building.
  - Shrubs must not be located under the canopy of trees.
  - Individual and clumps of shrubs must not exceed 5sq metres in area and must be separated by at least 5 metres.
  - Trees must not overhang or touch any elements of the building.
  - The canopy of trees must be separated by at least 5 metres.
  - There must be a clearance of at least 2 metres between the lowest tree branches and ground level.

**BUILDING CONSTRUCTION**

11. Buildings will be designed and constructed to the minimum Bushfire Attack Level designated for the site in accordance with ASS959-2009.

**WATER SUPPLY**

- Each dwelling must have 5,000 litres of effective water supply that is maintained and used solely for fire fighting purposes which will meet the following requirements:
  - Stored in an above ground water tank constructed of concrete or metal.
  - All fixed above-ground water pipes and fittings required for firefighting purposes made of corrosive resistant metal.
  - Include a separate outlet for occupant use (the water supply may be in the same tank as other water supplies provided that a separate outlet is reserved for fire fighting water supplies).

**ACCESS**

14. For driveways that are less than 30 metres in length (measured from the public road to either the building or the water supply outlet, whichever is longer) there are no design and construction requirements.

DEFENDABLE SPACE

BAL12.5

BAL19

BAL29

BUILDING ENVELOPE

PLANNING AND ENVIRONMENT ACT  
 GREATER BENDIGO PLANNING SCHEME  
 PLAN REFERRED TO IN PLANNING PERMIT  
 No: AM 1904/2017/5  
 For and on behalf of the City of Greater Bendigo  
 Date: 24.11.18

Date	14/12/2017	Sheet	2 of 3
Drawing No.	303948-VI-BMP	Version	1
CAD Ref.	G:\30303849\PLANNING\CAD	Checked By	CC
Drawn By	SP	APPROVED	DATE
REV			

Bushfire Management Plan  
 Golden Grove Estate  
 Lancaster Drive, Jackass Flat

Scale A3  
 1:2000

Coordinate Datum  
 MGA55

Lengths are in metres

spire

16 Bridge Street  
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 Bendigo Vic 3550  
 T 61 3 5448 2500  
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 flown Date: 06/10/2017





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**FORM 18**

**APPLICATION BY A RESPONSIBLE AUTHORITY FOR THE MAKING OF A RECORDING OF AN AGREEMENT**

**Section 181 Planning and Environment Act 1987**



**Lodged by:**

Name: Rigby Cooke Lawyers  
Phone: (03) 9321 7875  
Address: Level 13  
469 LaTrobe Street Melbourne VIC 3000  
Ref: TDC:AED:20110776  
Customer Code: 674R

Land: Certificates of Title Volume 9316 Folio 749, Volume 9040 Folio 463, Volume 9013 Folio 784 and Volume 9011 Folio 566

Authority: Greater Bendigo City Council  
of 195-229 Lyttleton Terrace, Bendigo 3552

Section and Act under this agreement made: Section 173 of the Planning and Environment Act 1987

A copy of the Agreement is attached to this Application.

Signature for the Authority: 

Name of Officer: (full name) CRAIG NIEMANN

Date: 3rd May 2011 27 APRIL 2011

rigbycooke|lawyers

## Agreement under Section 173 of the Planning & Environment Act 1987

Greater Bendigo City Council  
("Council")

Jackass Flat Developments Pty Ltd ACN 140 181 497  
("Owner")

Land: Evergreen Waters Estate – Jobs Gully Road, Harveys Lane,  
Callaghan Street and Howard Street, Jackass Flat

AH930656B

05/05/2011 \$105.20 173



Template Vendor Statement  
which may be subject to variations and amendments

**Rigby Cooke Lawyers**

Level 13, 469 La Trobe Street  
Melbourne Vic 3000  
T 61 3 9321 7888  
F 61 3 9321 7900

GPO Box 4767UU  
Melbourne Vic 3001  
DX 191 Melbourne  
ABN 58 552 536 547

[www.rigbycooke.com.au](http://www.rigbycooke.com.au)

Our ref: TDC:AED:20080512

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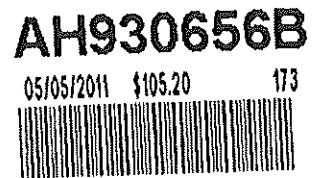


AGREEMENT

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Template Vendor Statement  
which may be subject to variations and amendments



**AGREEMENT**

**DATE**

THIS DEED is made the 27 day of APRIL 2011

**PARTIES**

BETWEEN: Greater Bendigo City Council  
195-229 Lyttleton Terrace, Bendigo 3552  
("Council")

AND: Jackass Flat Developments Pty Ltd  
The registered office and usual place of business of which is Level 2, 28  
Albert Road, South Melbourne 3205  
("Owner")

**RECITALS**

- A. Council is the responsible authority pursuant to the Act for the Planning Scheme.
- B. The Owner is the registered proprietor of the Subject Land.
- C. On 6 August 2010 Council issued a Planning Permit No. DS/226/2010 allowing the staged subdivision of the Subject Land, removal of native vegetation and removal of an easement on the Subject Land in accordance with the Endorsed Plan ("the Planning Permit"). Condition 11 of the Planning Permit provides:

"11. SALINITY

Testing:

Before a statement of compliance is issued for each stage of the subdivision, the area must be tested for salinity to the satisfaction of the responsible authority. The testing must consider the matters described in Planning Guidelines for Urban Salinity in the City of Greater Bendigo and the views of the North Central Catchment Management Authority.

Guidelines:

Before a statement of compliance is issued for each stage of the subdivision, and where testing shows that saline groundwater is present at a depth of 1.6m-2.5m, guidelines must be prepared to the satisfaction of the responsible authority. The guidelines must include:

- (a) Geo-technical standards for the construction of dwellings on the lots;
- (b) Methods that lot owners could use to conserve water, improve the soil and undertake plantings in response to the shallow saline groundwater.



**Section 173 Agreement:**

Before a statement of compliance is issued for each stage of the subdivision, the owner must enter into an agreement with the responsible authority and register the agreement on the titles to the relevant lots which provides that:

- a. Dwellings on lots affected by saline groundwater, where the depth to the water table is 1.6m-2.5m, will be constructed in accordance with the guidelines approved under this permit.
  - b. No dwellings will be constructed on lots where the depth to the water table is 0m-1.5m."
- D. The parties enter this Agreement:
- a. to give effect to the requirements of the Planning Permit; and
  - b. to achieve and advance the objectives of planning in Victoria and the objectives of the Planning Scheme in respect of the Subject Land.

**OPERATIVE PART**

**THE PARTIES AGREE THAT:-**

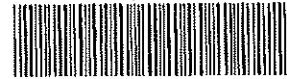
**1 DEFINITIONS**

In this Agreement the words and expressions set out in this clause have the following meanings unless the context admits otherwise:

- 1.1 "the Act" means the Planning and Environment Act 1987.
- 1.2 "this Agreement" means this agreement and any agreement executed by the parties expressed to be supplemental to this Agreement.
- 1.3 "Endorsed Plan" means the plan (or plans) endorsed with the stamp of Council from time to time as the plan (or plans) which forms a part of the Planning Permit. A copy of the Endorsed Plan is available for inspection at Council offices during normal business hours upon giving the Council reasonable notice.
- 1.4 "Guidelines" means the guidelines prepared to the satisfaction of the Responsible Authority which must include:
  - a. geo-technical standards for the construction of dwelling on the lots; and
  - b. methods that lot owners could use to conserve water, improve the soil and undertake plantings in response to the shallow saline groundwater.
- 1.5 "lot" has the same meaning as in the *Subdivision Act* 1988 and is limited to each lot for residential purposes created or to be created by the staged subdivision permitted by the Planning Permit.

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05/05/2011 \$105.20 173



- 1.6 "Owner" means the person or persons registered or entitled from time to time to be registered by the Registrar of Titles as proprietor or proprietors of an estate in fee simple of the Subject Land or any part of it and includes a mortgagee-in-possession and includes each of the persons described as the Owner in the description of the parties to this Agreement.
- 1.7 "party or parties" means the Owner and Council under this Agreement as appropriate.
- 1.8 "Planning Permit" means the Planning Permit referred to in recital C of this Agreement. A copy of the Planning Permit is available for inspection at Council offices during normal business hours upon giving the Council reasonable notice.
- 1.9 "Planning Scheme" means the Greater Bendigo Planning Scheme and any other planning scheme which applies to the Subject Land.
- 1.10 "Subject Land" means that part of land situated at Evergreen Waters Estate – Jobs Gully Road, Harveys Lane, Callaghan Street and Howard Street, Jackass Flat and described in Certificates of Title Volume 9316 Folio 749, Volume 9040 Folio 463, Volume 9013 Folio 784, and Volume 9011 Folio 566 respectively proposed to be subdivided into lots in Stages 1-16 (inclusive) shown as "Stage 1" on the "Staging Plan" endorsed under the Planning Permit on 9 August 2010.

## 2 INTERPRETATION

In this Agreement unless the context admits otherwise:

- 2.1 The singular includes the plural and vice versa.
- 2.2 A reference to a gender includes a reference to each other gender.
- 2.3 A reference to a person includes a reference to a firm, corporation or other corporate body and that person's successors in law.
- 2.4 If a party consists of more than one person this Agreement binds them jointly and each of them severally.
- 2.5 A word or expression used in this Agreement has its ordinary meaning unless that word or expression is defined in this Agreement. If a word or expression is not defined in this Agreement and it is defined in the Act it has the meaning as defined in the Act.
- 2.6 A reference to an Act, Regulation or the Planning Scheme includes any Acts, Regulations or amendments amending, consolidating or replacing the Act, Regulation or Planning Scheme.
- 2.7 The introductory clauses to this Agreement are and will be deemed to form part of this Agreement.
- 2.8 The obligations of the Owner under this Agreement, will take effect as separate and several covenants which are annexed to and run at law and equity with the Subject Land provided that if the Subject Land is subdivided, this Agreement must be read and applied so that each subsequent owner of a lot is only responsible for those covenants and obligations which relate to that owner's lot.



### 3 SPECIFIC OBLIGATIONS OF THE OWNER

The Owner covenants and agrees that:

- 3.1 Dwellings on lots affected by saline groundwater, where the depth of the water table is 1.6m-2.5m, will be constructed in accordance with the Guidelines; and
- 3.2 No dwellings will be constructed on lots where the depth to the water table is 0m – 1.5m.

### 4 FURTHER OBLIGATIONS OF THE OWNER

The Owner further covenants and agrees that:

#### 4.1 Notice and Registration

The Owner will bring this Agreement to the attention of all prospective purchasers, lessees, mortgagees, chargees, transferees and assigns.

#### 4.2 Further actions

- a. The Owner will do all things necessary to give effect to this Agreement;
- b. The Owner will consent to Council making application to the Registrar of Titles to make a recording of this Agreement in the Register on the Certificate of Title of the Subject Land in accordance with Section 181 of the Act and do all things necessary to enable Council to do so including signing any further agreement, acknowledgement or document or procuring the consent to this Agreement of any mortgagee or caveator to enable the recording to be made in the Register under that section; and

#### 4.3 Limitations on Subject Land and Ending of Agreement in respect of certain land

- a. The Subject Land referred to in clause 1.10 is limited to those parts of the land described in the Certificates of Title specified in clause 1.10 as are or are to be created as lots intended for residential purposes by one or more plans of subdivision permitted by the Planning Permit. The Subject Land excludes any land within the said Certificates of Title not intended for lots for residential purposes pursuant to the Planning Permit.
- b. In respect of those parts of the Subject Land which are not or are not intended by the Planning Permit to be created as lots for residential purposes by subdivisions permitted by the Planning Permit, this Agreement shall end as to those parts progressively as each such part or parts is created as a separate parcel or lot.
- c. In respect of any lot where the Owner demonstrates to the satisfaction of the Responsible Authority that the depth to the water table is greater than 2.5m, this Agreement ends as to that lot.



**AH930656B**

05/05/2011 \$105.20 173



**5 AGREEMENT UNDER SECTION 173 OF THE ACT**

Council and the Owner agree that without limiting or restricting the respective powers to enter into this Agreement and, insofar as it can be so treated, this Agreement is made as a Deed pursuant to Section 173 of the Act.

**6 OWNER'S WARRANTIES**

Without limiting the operation or effect which this Agreement has, the Owner warrants that apart from the Owner and any other person who has consented in writing to this Agreement, no other person has any interest, either legal or equitable, in the Subject Land which may be affected by this Agreement.

**7 SUCCESSORS IN TITLE**

Without limiting the operation or effect which this Agreement has:

7.1 the Owner must ensure that until such time as a memorandum of this Agreement is registered on the title to the Subject Land, successors in title shall be required to:

- a. give effect to and do all acts and sign all documents which will require those successors to give effect to this Agreement; and
- b. execute a deed agreeing to be bound by the terms of this Agreement.

**8 GENERAL MATTERS**

**8.1 Notices**

A notice or other communication required or permitted to be served by a party on another party must be in writing and may be served:

- a. by delivering it personally to that party;
- b. by sending it by prepaid post addressed to that party at the address set out in this Agreement or subsequently notified to each party from time to time; or
- c. by sending it by facsimile provided that a communication sent by facsimile shall be confirmed immediately in writing by the sending party by hand delivery or prepaid post.

**8.2 Service of Notice**

A notice or other communication is deemed served:

- a. if delivered, on the next following business day;
- b. if posted, on the expiration of 7 business days after the date of posting; or
- c. if sent by facsimile, on the next following business day unless the receiving party has requested transmission before the end of that business day.

**8.3 No waiver**

Any time or other indulgence granted by Council to the Owner or any variation of the terms and conditions of this Agreement or any judgment or order obtained by

**AH930656B**

05/05/2011 \$105.20 173



Council against the Owner will not in any way amount to a waiver of any of the rights or remedies of Council in relation to the terms of this Agreement.

**8.4 Severability**

If a court, arbitrator, tribunal or other competent authority determines that a word, phrase, sentence, paragraph or clause of this Agreement is unenforceable, illegal or void then it must be severed and the other provisions of this Agreement will remain operative.

**8.5 No Fettering of Council's Powers**

It is acknowledged and agreed that this Agreement does not fetter or restrict the power or discretion of Council to make any decision or impose any requirements or conditions in connection with the granting of any planning approval or certification of any plans of subdivision applicable to the Subject Land or relating to any use or development of the Subject Land.

**9 COMMENCEMENT OF AGREEMENT**

Unless otherwise provided in this Agreement, this Agreement commences from the date of this Agreement.

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which may be subject to variations and amendments

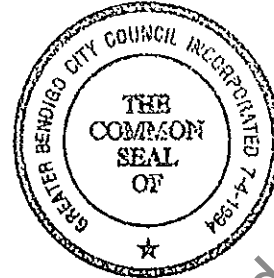
**AH930656B**

05/05/2011 \$105.20 173



EXECUTED by the parties as an agreement

THE COMMON SEAL of GREATER )  
BENDIGO CITY COUNCIL was affixed on )  
with the authority of )  
the Council: )



.....  
Chief Executive Officer

EXECUTED by JACKASS FLAT DEVELOPMENTS PTY LTD  
in accordance with Section 127(1) of the Corporations Act 2001 (Cth);

.....  
Sole Director & Sole Company Secretary  
Vallence Gary Simonds  
Level 2, 28 Albert Road, South Melbourne 3205

EXECUTED by JACKASS FLAT )  
DEVELOPMENTS PTY LTD by its Attorney )  
..... )  
under Power of Attorney dated ..... )  
..... )  
in the presence of: )

*[Handwritten signature]*

.....  
Witness (signature)

.....  
Full Name (print)

which may be subject to variations and amendments



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Document Type	<b>Instrument</b>
Document Identification	<b>AK024214N</b>
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Document Assembled	<b>17/07/2020 11:20</b>

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# Application by a Responsible Authority for the making of a Recording of an Agreement

Section 181 Planning and Environment Act 1987

Lodged by:

Name: Rigby Cooke Lawyers  
Phone: (03) 9321 7888  
Address: Level 13 469 LaTrobe Street Melbourne VIC 3000  
Ref: TDC:20122127  
Customer Code: 674R

**AK024214N**



Land: Certificates of Title Volume 10027 Folio 546, Volume 9587 Folio 378, Volume 7626 Folio 192, Volume 11376 Folio 147 and Volume ~~44736~~ Folio 146 11376

Authority: Greater Bendigo City Council  
of 195-229 Lyttleton Terrace, Bendigo 3552

Section and Act under this agreement made: Section 173 of the Planning and Environment Act 1987

A copy of the Agreement is attached to this Application.

Signature for the Authority:



Name of Officer: (full name)

CRAIG NIEMAND

Date:

7 NOVEMBER 2012

Template Vendor Statement which may be subject to variations and amendments

rigbycooke | lawyers

## Agreement under Section 173 of the Planning & Environment Act 1987

Greater Bendigo City Council  
("Council")

Jackass Flat Developments Pty Ltd ACN 140 181 497  
("Owner")

Land: Evergreen Waters Estate – (Phase 2)  
162 & 184 Jobs Gully Road, Jackass Flat and 116 Harveys Lane, Jackass  
Flat

Template Vendor Statement  
which may be subject to variations and amendments

**AK024214N**



**Rigby Cooke Lawyers**  
Level 13, 469 La Trobe Street  
Melbourne Vic 3000  
T 61 3 9321 7888  
F 61 3 9321 7900  
GPO Box 4767UU  
Melbourne Vic 3001  
DX 191 Melbourne  
ABN 58 552 536 547  
[www.rigbycooke.com.au](http://www.rigbycooke.com.au)  
Our ref: TDC:AED:20080512

## AGREEMENT

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**AK024214N**

14/11/2012 \$110.30 173





**AGREEMENT**

**DATE**

**THIS DEED** is made the 7 day of **NOVEMBER** 2012

**PARTIES**

**BETWEEN:** Greater Bendigo City Council  
195-229 Lyttleton Terrace, Bendigo 3552  
("Council")

**AND:** Jackass Flat Developments Pty Ltd  
The registered office and usual place of business of which is Level 2, 28  
Albert Road, South Melbourne 3205  
("Owner")

**RECITALS**

- A. Council is the responsible authority pursuant to the Act for the Planning Scheme.
- B. The Owner is the registered proprietor of the Subject Land.
- C. On 5 June 2012 Council issued a Planning Permit Number DS/904/2011 allowing the staged subdivision of the subject land and removal of an easement on the subject land ("the Planning Permit"). Condition 8 of the Planning Permit provides:

"8. SALINITY

Before a statement of compliance is issued for each stage of the subdivision, the owner must enter into an agreement with the responsible authority and register the agreement on the titles to the relevant lots which provides that:

- a. Dwellings on lots affected by saline groundwater, where the depth to the water table is 1.6m-2.5m, will be constructed in accordance with the guidelines approved under this permit.
  - b. No dwellings will be constructed on lots where the depth to the water table is 0m 1.5m."
- D. The parties enter this Agreement:
- a. to give effect to the requirements of the Planning Permit; and
  - b. to achieve and advance the objectives of planning in Victoria and the objectives of the Planning Scheme in respect of the Subject Land.



**AK024214N**

14/11/2012 \$110.30 173



**OPERATIVE PART**

**THE PARTIES AGREE THAT:-**

**1 DEFINITIONS**

In this Agreement the words and expressions set out in this clause have the following meanings unless the context admits otherwise:

- 1.1 "the Act" means the Planning and Environment Act 1987.
- 1.2 "this Agreement" means this agreement and any agreement executed by the parties expressed to be supplemental to this Agreement.
- 1.3 "Endorsed Plan" means the plan (or plans) endorsed with the stamp of Council from time to time as the plan (or plans) which forms a part of the Planning Permit. A copy of the Endorsed Plan is available for inspection at Council offices during normal business hours upon giving the Council reasonable notice.
- 1.4 "Guidelines" means the guidelines prepared to the satisfaction of the Responsible Authority which must include:
  - a. geo-technical standards for the construction of dwelling on the lots; and
  - b. methods that lot owners could use to conserve water, improve the soil and undertake plantings in response to the shallow saline groundwater.
- 1.5 "lot" has the same meaning as in the *Subdivision Act* 1988 and is limited to each lot for residential purposes created or to be created by the staged subdivision permitted by the Planning Permit.
- 1.6 "Owner" means the person or persons registered or entitled from time to time to be registered by the Registrar of Titles as proprietor or proprietors of an estate in fee simple of the Subject Land or any part of it and includes a mortgagee-in-possession and includes each of the persons described as the Owner in the description of the parties to this Agreement.
- 1.7 "party or parties" means the Owner and Council under this Agreement as appropriate.
- 1.8 "Planning Permit" means the Planning Permit referred to in recital C of this Agreement. A copy of the Planning Permit is available for inspection at Council offices during normal business hours upon giving the Council reasonable notice.
- 1.9 "Planning Scheme" means the Greater Bendigo Planning Scheme and any other planning scheme which applies to the Subject Land.
- 1.10 "Subject Land" means that part of land situated at Evergreen Waters Estate, Jackass Flat known as 162 and 184 Jobs Gully Road, Jackass Flat and 116 Harveys Lane, Jackass Flat, and described in Certificates of Title Volume 10027 Folio 546, Volume 9587 Folio 378, Volume 7626 Folio 192, Volume 11376 Folio 147 and Volume 11376



Folio 146 respectively proposed to be subdivided into lots in Stages pursuant to the Planning Permit.

## 2 INTERPRETATION

In this Agreement unless the context admits otherwise:

- 2.1 The singular includes the plural and vice versa.
- 2.2 A reference to a gender includes a reference to each other gender.
- 2.3 A reference to a person includes a reference to a firm, corporation or other corporate body and that person's successors in law.
- 2.4 If a party consists of more than one person this Agreement binds them jointly and each of them severally.
- 2.5 A word or expression used in this Agreement has its ordinary meaning unless that word or expression is defined in this Agreement. If a word or expression is not defined in this Agreement and it is defined in the Act it has the meaning as defined in the Act.
- 2.6 A reference to an Act, Regulation or the Planning Scheme includes any Acts, Regulations or amendments amending, consolidating or replacing the Act, Regulation or Planning Scheme.
- 2.7 The introductory clauses to this Agreement are and will be deemed to form part of this Agreement.
- 2.8 The obligations of the Owner under this Agreement, will take effect as separate and several covenants which are annexed to and run at law and equity with the Subject Land provided that if the Subject Land is subdivided, this Agreement must be read and applied so that each subsequent owner of a lot is only responsible for those covenants and obligations which relate to that owner's lot.

## 3 SPECIFIC OBLIGATIONS OF THE OWNER

The Owner covenants and agrees that:

- 3.1 Dwellings on lots affected by saline groundwater, where the depth of the water table is 1.6m-2.5m, will be constructed in accordance with the Guidelines; and
- 3.2 No dwellings will be constructed on lots where the depth to the water table is 0m – 1.5m.

## 4 FURTHER OBLIGATIONS OF THE OWNER

The Owner further covenants and agrees that:

### 4.1 Notice and Registration

The Owner will bring this Agreement to the attention of all prospective purchasers, lessees, mortgagees, chargees, transferees and assigns.

#### 4.2 Further actions

- a. The Owner will do all things necessary to give effect to this Agreement;
- b. The Owner will consent to Council making application to the Registrar of Titles to make a recording of this Agreement in the Register on the Certificate of Title of the Subject Land in accordance with Section 181 of the Act and do all things necessary to enable Council to do so including signing any further agreement, acknowledgement or document or procuring the consent to this Agreement of any mortgagee or caveator to enable the recording to be made in the Register under that section; and

#### 4.3 Limitations on Subject Land and Ending of Agreement in respect of certain land

- a. The Subject Land referred to in clause 1.10 is limited to those parts of the land described in the Certificates of Title specified in clause 1.10 as are or are to be created as lots intended for residential purposes by one or more plans of subdivision permitted by the Planning Permit. The Subject Land excludes any land within the said Certificates of Title not intended for lots for residential purposes pursuant to the Planning Permit.
- b. In respect of those parts of the Subject Land which are not or are not intended by the Planning Permit to be created as lots for residential purposes by subdivisions permitted by the Planning Permit, this Agreement shall end as to those parts progressively as each such part or parts is created as a separate parcel or lot.
- c. In respect of any lot where the Owner demonstrates to the satisfaction of the Responsible Authority that the depth to the water table is greater than 2.5m, this Agreement ends as to that lot.

AK024214N



**AK024214N**



**5 AGREEMENT UNDER SECTION 173 OF THE ACT**

Council and the Owner agree that without limiting or restricting the respective powers to enter into this Agreement and, insofar as it can be so treated, this Agreement is made as a Deed pursuant to Section 173 of the Act.

**6 OWNER'S WARRANTIES**

Without limiting the operation or effect which this Agreement has, the Owner warrants that apart from the Owner and any other person who has consented in writing to this Agreement, no other person has any interest, either legal or equitable, in the Subject Land which may be affected by this Agreement.

**7 SUCCESSORS IN TITLE**

Without limiting the operation or effect which this Agreement has:

- 7.1 the Owner must ensure that until such time as a memorandum of this Agreement is registered on the title to the Subject Land, successors in title shall be required to:
- a. give effect to and do all acts and sign all documents which will require those successors to give effect to this Agreement; and
  - b. execute a deed agreeing to be bound by the terms of this Agreement.

**8 GENERAL MATTERS**

**8.1 Notices**

A notice or other communication required or permitted to be served by a party on another party must be in writing and may be served:

- a. by delivering it personally to that party;
- b. by sending it by prepaid post addressed to that party at the address set out in this Agreement or subsequently notified to each party from time to time; or
- c. by sending it by facsimile provided that a communication sent by facsimile shall be confirmed immediately in writing by the sending party by hand delivery or prepaid post.

**8.2 Service of Notice**

A notice or other communication is deemed served:

- a. if delivered, on the next following business day;
- b. if posted, on the expiration of 7 business days after the date of posting; or
- c. if sent by facsimile, on the next following business day unless the receiving party has requested transmission before the end of that business day.

**8.3 No waiver**

Any time or other indulgence granted by Council to the Owner or any variation of the terms and conditions of this Agreement or any judgment or order obtained by

Council against the Owner will not in any way amount to a waiver of any of the rights or remedies of Council in relation to the terms of this Agreement.

#### 8.4 Severability

If a court, arbitrator, tribunal or other competent authority determines that a word, phrase, sentence, paragraph or clause of this Agreement is unenforceable, illegal or void then it must be severed and the other provisions of this Agreement will remain operative.

#### 8.5 No Fettering of Council's Powers

It is acknowledged and agreed that this Agreement does not fetter or restrict the power or discretion of Council to make any decision or impose any requirements or conditions in connection with the granting of any planning approval or certification of any plans of subdivision applicable to the Subject Land or relating to any use or development of the Subject Land.

#### 9 COMMENCEMENT OF AGREEMENT

Unless otherwise provided in this Agreement, this Agreement commences from the date of this Agreement.

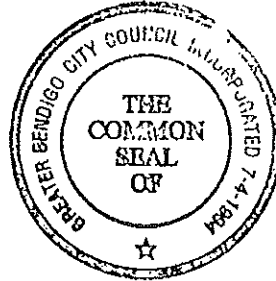
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**AK024214N**

14/11/2012 \$110.30 173  


EXECUTED by the parties as an agreement

THE COMMON SEAL of GREATER )  
BENDIGO CITY COUNCIL was affixed on )  
with the authority of )  
the Council: )

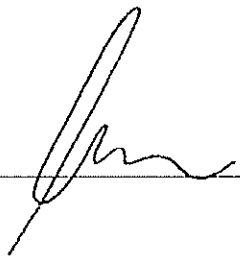



  
.....  
Chief Executive Officer

EXECUTED by JACKASS FLAT DEVELOPMENTS PTY LTD  
in accordance with Section 127(1) of the Corporations Act 2001 (Cth):

Sole Director & Sole Company Secretary  
Vallence Gary Simonds  
Level 2, 28 Albert Road, South Melbourne 3205

EXECUTED by JACKASS FLAT )  
DEVELOPMENTS PTY LTD by its Attorney )  
MARIA LOUISE O'CONNOR )  
under Power of Attorney dated 5th )  
APRIL, 2011 in the presence of: )

  
\_\_\_\_\_

  
Witness (signature)

MATHEW DEAN  
Full Name (print)

which may be subject to variations and amendments

AK024214N  
14/11/2012 \$110.30 173  




# Department of Environment, Land, Water & Planning

## Electronic Instrument Statement

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Status	Registered	Dealing Number	AS998048X
Date and Time Lodged	18/02/2020 09:37:02 AM		

### Lodger Details

Lodger Code	16984L
Name	BECK LEGAL
Address	
Lodger Box	
Phone	
Email	
Reference	CCO:152318-2134

## APPLICATION TO RECORD AN INSTRUMENT

Jurisdiction	VICTORIA
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### Privacy Collection Statement

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### Estate and/or Interest

FEE SIMPLE

### Land Title Reference

12018/588

### Instrument and/or legislation

RECORD - AGREEMENT - SECTION 173  
Planning & Environment Act - section 173

### Applicant(s)

Name	GREATER BENDIGO CITY COUNCIL
Address	
Street Number	3
Street Name	EVERGREEN
Street Type	BOULEVARD
Locality	JACKASS FLAT
State	VIC
Postcode	3556

### Additional Details

Refer Image Instrument



# Department of Environment, Land, Water & Planning

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## Electronic Instrument Statement

The applicant requests the recording of this Instrument in the Register.

---

### Execution

1. The Certifier has taken reasonable steps to verify the identity of the applicant or his, her or its administrator or attorney.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant legislation and any Prescribed Requirement.

Executed on behalf of	GREATER BENDIGO CITY COUNCIL
Signer Name	MEGAN MCDONALD
Signer Organisation	BOWCOLE PTY LTD
Signer Role	AUSTRALIAN LEGAL PRACTITIONER
Execution Date	18 FEBRUARY 2020

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**File Notes:**  
NIL

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This is a representation of the digitally signed Electronic Instrument or Document certified by Land Use Victoria.

Statement End.

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Date

7 February

2020

**CITY OF GREATER BENDIGO**

**AND**

**MERRIMU VIEWS PTY LTD ACN 147782634 AS TRUSTEE FOR AITKEN  
UNIT TRUST**

---

**PLANNING AND ENVIRONMENT ACT 1987  
SECTION 173 AGREEMENT**

---

**J + K Law**  
76 High Street  
Eaglehawk VIC 3556  
PO Box 32  
Eaglehawk VIC 3556  
Email: [grace@jandklaw.com.au](mailto:grace@jandklaw.com.au)  
Ref: KP:GE:192759

Template Vendor Statement  
which may be subject to variations and amendments

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**THIS AGREEMENT** is made the 7<sup>th</sup> day of February 2020

**BETWEEN** City of Greater Bendigo of 195-229 Lyttleton Terrace, Bendigo, Victoria  
3550 (Responsible Authority)

**AND** Merrimu Views Pty Ltd ACN 147782634 as trustee for Aitken Unit  
Trust of 8 Gordons Road, Templestowe Lower, Victoria (Owner)

#### **RECITALS**

- A.** The Owner is the owner and registered by the Registrar of Titles as the proprietor of an estate in fee simple in the land at Evergreen Waters Estate, 277 Howard Street, 162 & 184 Jobs Gully Road, Jackass Flat being Lot A on Plan of Subdivision 810185T and more particularly described in Certificate of Title Volume 12018 Folio 588 (Subject Land).
- B.** The Responsible Authority is responsible for the administration and enforcement of the Greater Bendigo Planning Scheme (Planning Scheme) pursuant to the provisions of the Planning and Environment Act 1987 (the Act).
- C.** On 5 June 2012 the Responsible Authority issued planning permit number AM/904/2011/G allowing the staged subdivision of land and removal of an easement and creation of a restriction (building envelopes) on lots 1-9; 47-59; 63-67 (all inclusive) and Lot 69 (Planning Permit).
- D.** Condition 22 of the Planning Permit requires the owner to enter into this agreement to provide for the matters set out in that condition.
- E.** The Responsible Authority and the owner have agreed that, without restricting or limiting their respective powers to enter into this Agreement, and insofar as it can be so treated, this Agreement is an agreement entered into pursuant to section 173 of the Act.
- F.** The Responsible Authority and the Owner have entered into this Agreement in order to achieve or advance the objectives of planning in Victoria or the objectives of the Planning Scheme.

---

## OPERATIVE PART

### 1. Interpretation

---

This Agreement is governed by the laws of Victoria, and the parties, submit to the non-exclusive jurisdiction of the courts of that state.

In the interpretation of this agreement:

- (a) References to legislation or provisions of legislation include changes or re-enactments of the legislation and statutory instruments and regulations issued under the legislation;
- (b) Words denoting the singular include the plural and vice versa, words denoting individuals or persons include bodies corporate and vice versa, references to documents or agreements also mean those documents or agreements as changed, novated or replaced, and words denoting one gender include all genders;
- (c) Grammatical forms of defined words or phrases have corresponding meanings;
- (d) Parties must perform their obligations on the dates and times fixed by reference to the capital city of Victoria;
- (e) Reference to an amount of money is a reference to the amount in the lawful currency of the Commonwealth of Australia;
- (f) If the day on or by which anything is to be done is a Saturday, a Sunday or a public holiday in the place in which it is to be done, then it must be done on the next business day;
- (g) References to a party are intended to bind their executors, administrators and permitted transferees; and
- (h) Obligations under this agreement affecting more than one party bind them jointly and each of them severally.

### 2. Definitions

---

In this agreement unless inconsistent with the context or subject matter:

- (a) Act means the Planning and Environment Act 1987;
- (b) Agreement means this agreement and any agreement executed by the parties varying or expressed to be supplemental to this agreement;
- (c) Subject Land means the land described in recital A;
- (d) Owner means the owner for the time being of the land and the person or persons entitled from time to time to be registered by the Registrar of Titles as the proprietor of an estate in fee simple in the land or any part thereof, and includes a mortgagee in possession;

- 
- (e) Planning Permit means the planning permit referred to in recital C, including any plans endorsed under the planning permit;
  - (f) Planning Scheme means the Greater Bendigo planning scheme and any successor instrument or other planning scheme which applies to the subject land;
  - (g) Responsible Authority means Greater Bendigo Council or its successor as the authority responsible for administering and enforcing the planning scheme and includes its agents, officers, employees, servants, workers and contractors; and
  - (h) Tribunal means the Victorian Civil and Administrative Tribunal or any successor tribunal, court, institution or body.

### **3. Specific obligations of the owner**

---

The Owner covenants with the Responsible Authority that:

- (a) The Owner acknowledges that this Agreement has been prepared for the purpose of an exemption from a planning permit under Clause 44.06-2 of the Planning Scheme;
- (b) The Owner acknowledges that the Bushfire Management Plan Drawing Nos.303949-V1-BMP sheets 1 and 2 in the BMS prepared by Splire Australia dated 15 January 2018 contained at Annexure A forms part of the Planning Permit and must not be altered unless otherwise agreed in writing by the Country Fire Authority and the Responsible Authority;
- (c) If a dwelling is constructed on the Subject Land without a planning permit that the bushfire protection measures set out in the plan incorporated into this Agreement must be implemented and maintained to the satisfaction of the Responsible Authority on a continuing basis.

### **4. Further obligations of the Owner**

---

The Owner further covenants that:

- (a) The Owner will not sell, transfer, dispose of, assign, mortgage or otherwise part with possession of the Subject Land or any part of it without first disclosing to its successors the existence and nature of this Agreement;
- (b) The Owner will do all that is necessary to enable the Responsible Authority to make an application to the Registrar of Titles to make a recording of this Agreement on the certificate of title to the Subject Land in accordance with section 181 of the Act, including the signing of any further agreement, acknowledgment or other document;
- (c) The Owner shall immediately on demand pay the reasonable legal costs and fees incurred and incidental to the preparation and

---

execution of this Agreement and the registration hereof pursuant to section 181 of the Act, together with all costs of enforcing this agreement if deemed necessary by the Responsible Authority. The Owner hereby agrees that any such costs are and remain a charge on the subject land until paid, and consents to the Responsible Authority registering a caveat on the certificate of title to the Subject Land in respect of any such costs and acknowledges that any such costs shall be capable of being recovered by the Responsible Authority in any court of competent jurisdiction as a civil debt recoverable;

- (d) That until such time as this Agreement is registered on the title to the Subject Land, the Owner shall ensure that successors in title will give effect to this Agreement, and do all acts and sign all documents which will require those successors to give effect to this Agreement, including executing a deed agreeing to be bound by the terms of this Agreement;
- (e) The Owner agrees to indemnify and keep indemnified the Responsible Authority from and against all costs, expenses, losses or damages that it may sustain, incur, suffer or be or become liable for or in respect of any suit, action, proceeding, judgment or claim brought by any person arising from or referable to this Agreement and/or any non-compliance with this Agreement; and
- (f) The Owner agrees to allow the Responsible Authority to enter the Subject Land at any reasonable time to assess compliance with this Agreement.
- (g) This Agreement may be ended by mutual agreement between the Responsible Authority and the Owner either wholly or in part or as to any part of the Subject Land. As soon as reasonably practicable after this Agreement has ended, the Responsible Authority must, at the request and at the cost of the Owner, apply to the Registrar of Titles under Section 183 of the Act to cancel the recording of this Agreement on the Register.

**5. Owner's warranties and acknowledgements**

---

- (a) The Owner warrants that:
  - (i) It is the registered proprietor, or entitled to be so, of the Subject Land;
  - (ii) There are no mortgages, liens, charges or other encumbrances affecting the subject land which are not disclosed by the usual searches; and
  - (iii) If the Subject Land is affected by a mortgage, the mortgagee of the Subject Land consents to the Owner entering into this Agreement and the Agreement being registered on the title to the Subject Land.

- 
- (b) The Owner acknowledges that any obligations imposed on the Owner under this agreement take effect as separate and several covenants which are annexed to the Subject Land and run at law and in equity with the land and every part thereof and bind the owner, its successors, assigns and transferees, and the registered proprietor for the time being of the whole or any part of the Subject Land.

**6. Further assurance**

---

The parties to this Agreement must do or cause to be done all things that are reasonably necessary to give effect to this Agreement.

**7. Default**

---

If the owner defaults or fails to perform any of its obligations under this Agreement the Responsible Authority may, without prejudice to any other remedies, rectify and remedy such default and the cost of doing so shall be borne by the Owner. The Owner hereby consents to the Responsible Authority registering a caveat on the certificate of title to the Subject Land in respect of any such costs, and acknowledges that any such costs shall be capable of being recovered by the Responsible Authority in any court of competent jurisdiction as a civil debt recoverable.

**8. No waiver**

---

Any time or other indulgence granted by the Responsible Authority to the Owner or any variation of the terms and conditions of this Agreement or any judgment or order obtained by the Responsible Authority against the Owner will not in any way amount to a waiver of any of the rights or remedies of the Responsible Authority in relation to the terms of this Agreement.

**9. No fettering of powers of responsible authority**

---

The Owner expressly acknowledges and agrees that nothing in this Agreement nor the performance by the Owner of any of its obligations under this Agreement does or will restrain, limit or otherwise fetter the exercise by the Responsible Authority of the powers, duties and discretions that the Responsible Authority has or may have, as planning authority, Responsible Authority or otherwise, under the Act or under the planning scheme to consider, approve, amend or to make any decision or impose any requirements or conditions in connection with the granting of any planning approval or certification relating to any use or development, or in relation to the commencement or initiation of any enforcement action or proceeding whatsoever.

---

**10. Entire agreement**

This Agreement constitutes the entire Agreement between the parties in connection with its subject matter and supersedes all previous agreements or understandings between the parties in connection with its subject matter.

**11. Severability**

If a court, arbitrator, tribunal or other competent authority determines that a word, phrase, sentence, paragraph or clause of this Agreement is unenforceable, illegal or void then it shall be severed and the other provisions of this Agreement shall remain operative and be of full force and effect.

**12. Disputes**

- (a) If there is a dispute between the parties concerning the interpretation or implementation of this Agreement, that dispute must be referred to the tribunal for resolution to the extent permitted by the Act.
- (b) If there is a dispute concerning any matter which is not referable to the tribunal under the Act, that dispute must be referred for arbitration by an arbitrator agreed upon in writing by the parties, or, in the absence of such Agreement the chair of the Victorian Chapter of the Institute of Arbitrators Australia or his or her nominee, for arbitration.
- (c) The parties shall each be entitled to legal representation for the purposes of any proceedings or arbitration referred to clause 12(a) or (b) of this Agreement unless the tribunal or arbitrator otherwise directs, and each party must bear its own costs.

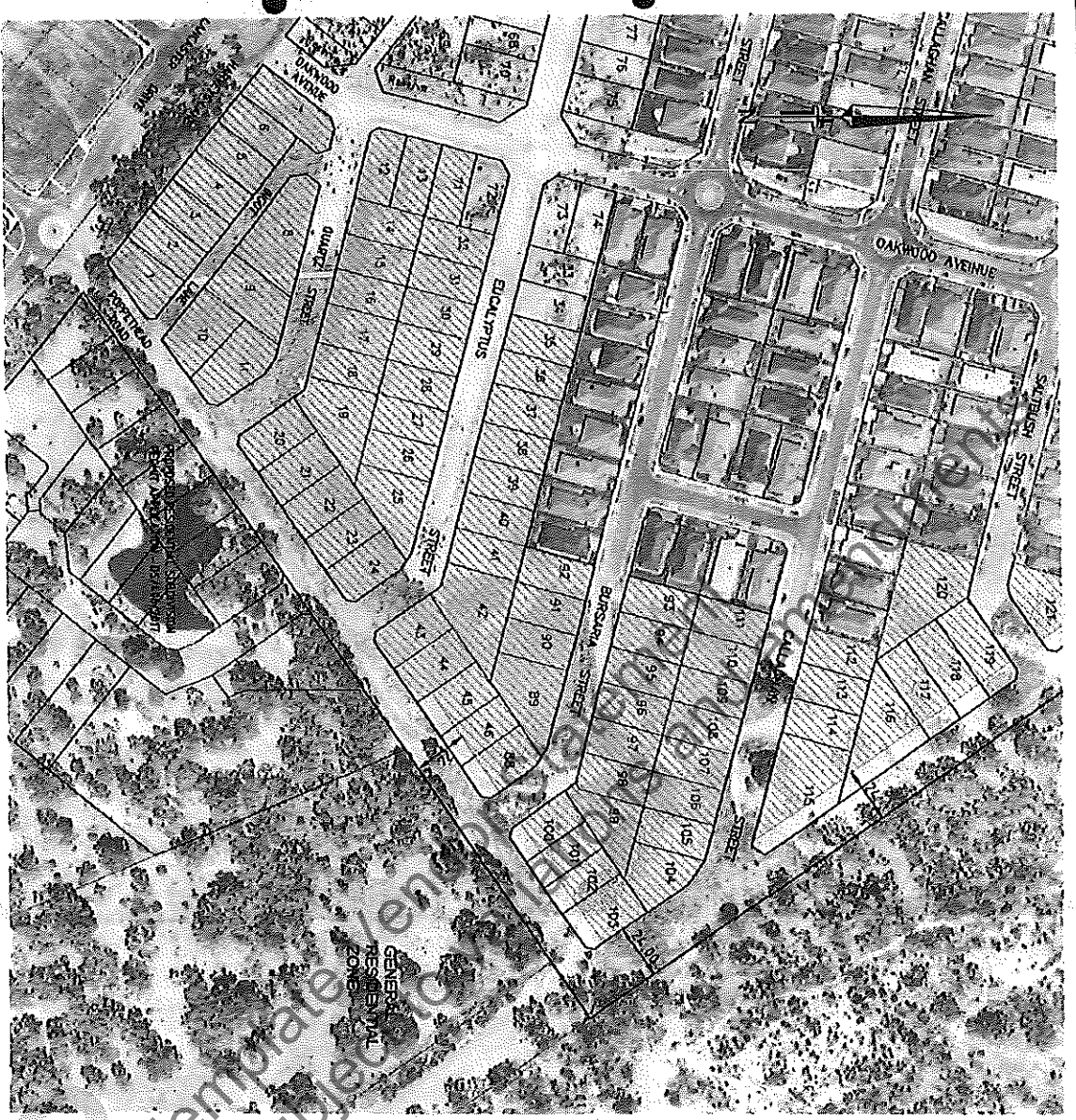
**13. Commencement of agreement**

Unless otherwise provided in this Agreement, this Agreement shall commence on the date of this Agreement.



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ANNEXURE A – Bushfire Management Plan



Aerial imagery supplied by Neams  
 Rev'd Date: 06/10/2017

**Bushfire Management Plan**  
**Golden Grove Estate**  
**Lancaster Drive, Jackass Flat**

Scale A3  
 1:2000

Coordinate Datum  
 MGA55

20 0 20 40 60  
 Lengths are in metres

Date	14/12/2017	Sheet	1	of	3
Drawing No.	3030-0-V1-BMP	Version	1		
CAD Ref.	G:\3030-0-V1-BMP\PLANNING\CAD	Checked By:	CC		
Drawn By:	SP	Approved:	DATE		
REV	AUTOCAD	APPROVED	DATE		

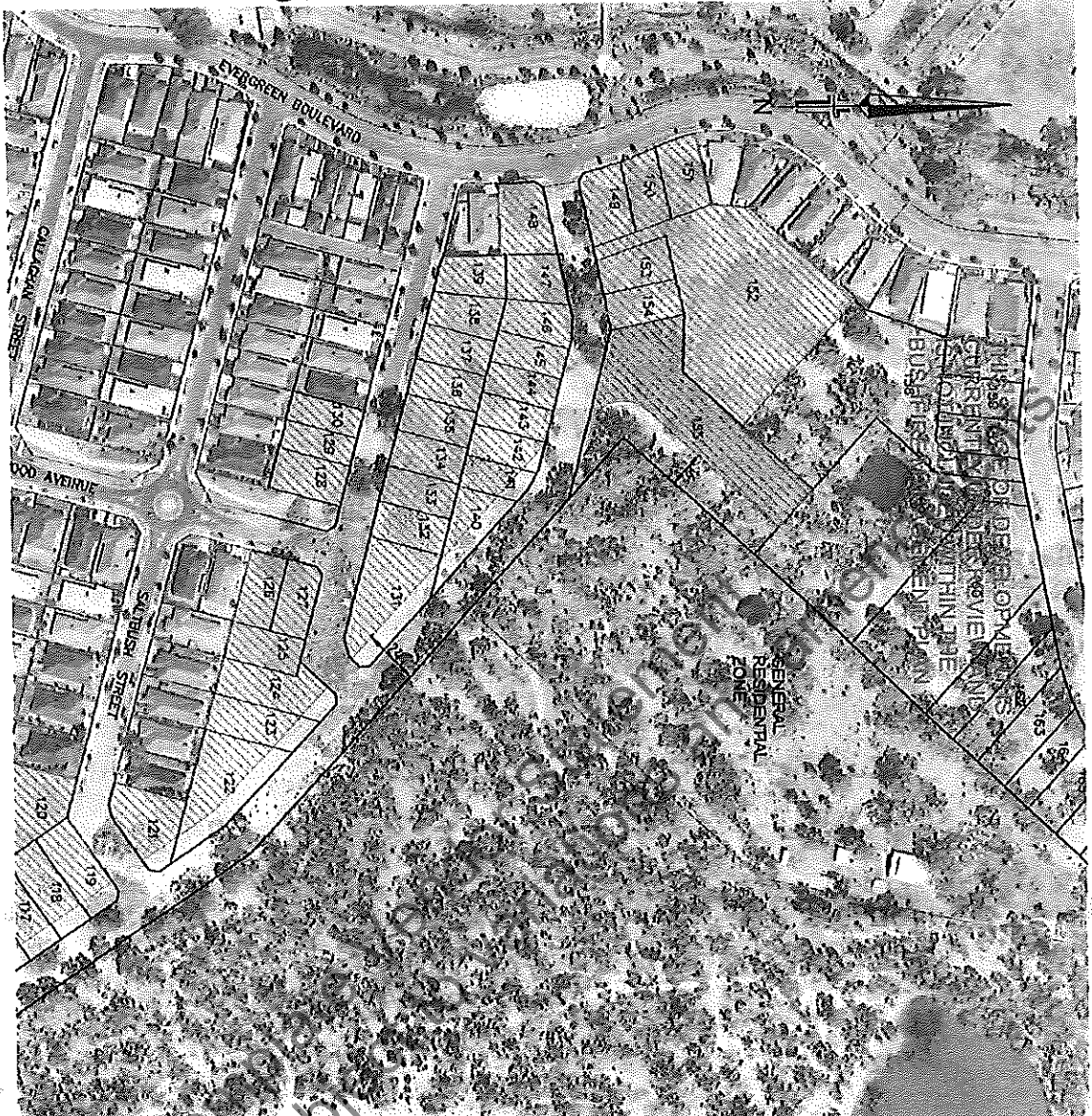
**spire**

18 Bridge Street  
 PO Box 105  
 Bendigo VIC 3550  
 T 61 3 548 2500  
 spire.com.au



PLANNING AND ENVIRONMENT ACT  
 GREATER BENDIGO PLANNING SCHEME  
 PLAN REFERRED TO IN PLANNING PERMIT  
 No. A11604/Kelle  
 For and on behalf of the City of Greater Bendigo  
 Date: 24/11/18

- GENERAL**
- All dimensions shown are in metres.
- DEFENDABLE SPACE**
- Grass must be short cropped and maintained during the declared fire danger period.
  - All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
  - Within 10 metres of a building, flammable objects must not be located close to the vulnerable parts of the building.
  - Plants greater than 10 centimetres in height must not be placed within 3m of a window or other glass feature of the building.
  - Shrubs must not be located under the canopy of trees.
  - Individual and clumps of shrubs must not exceed 5sq metres in area and must be separated by at least 5 metres.
  - Trees must not overhang or touch any elements of the building.
  - The canopy of trees must be separated by at least 5 metres.
  - There must be a clearance of at least 2 metres between the lowest tree branches and ground level.
- BUILDING CONSTRUCTION:**
- Buildings will be designed and constructed to the minimum Bushfire Attack Level designated for the site in accordance with AS3999-2009.
- WATER SUPPLY**
- Each dwelling must have 5,000 litres of effective water supply that is maintained and used solely for fire fighting purposes which will meet the following requirements:
    - Stored in an above ground water tank constructed of concrete or metal.
    - All fixed above-ground water pipes and fittings required for firefighting purposes made of concrete resistant metal.
    - Include a separate outlet for occupant use (the water supply may be in the same tank as other water supplies provided that a separate outlet is reserved for fire fighting water supplies).
- ACCESS**
- For driveways that are less than 30 metres in length (measured from the public road to either the building or the water supply outlet, whichever is longer) there are no design and construction requirements.



Project Imagery created by Maxima  
 Date: 05/01/2017

**Bushfire Management Plan**  
**Golden Grove Estate**  
**Lancaster Drive, Jackass Flat**

Coordinate Datum: MGA55  
 Scale A3: 1:2000

20 0 20 40 60  
 Lengths are in metres

REV	DATE	APPROVED	DATE

Date	14/12/2017	Sheet	2 of 3
Drawing No.	30398-V1-SBP	Version	1
CAD Ref.	30398-V1-SBP	Checked By	CC
Drawn By	SP		

**spire**

16 Bridge Street  
 PO Box 1066  
 Bendigo, Vic 3550  
 T 61 3 548 2500  
 spire.com.au

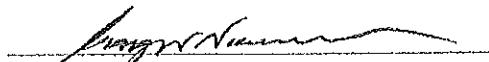
- GENERAL**
- All dimensions shown are in metres.
- DEFENDABLE SPACE**
- Grass must be short cropped and maintained during the declared fire danger period.
  - All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
  - Within 10 metres of a building, flammable objects must not be located close to the vulnerable parts of the building.
  - Plants greater than 10 centimetres in height must not be placed within 3m of a window or other glass feature of the building.
  - Shrubs must not be located under the canopy of trees.
  - Individual and clumps of shrubs must not exceed 5sq metres in area and must be separated by at least 5 metres.
  - Trees must not overhang or touch any elements of the building.
  - The canopy of trees must be separated by at least 5 metres.
  - There must be a clearance of at least 2 metres between the lowest tree branches and ground level.
- BUILDING CONSTRUCTION**
- Buildings will be designed and constructed to the minimum Bushfire Attack Level designated for the site in accordance with AS3959-2009.
- WATER SUPPLY**
- Each dwelling must have 5,000 litres of effective water supply that is maintained and used solely for fire fighting purposes which will meet the following requirements:
    - Stored in an above ground water tank constructed of concrete or metal.
    - All fixed above-ground water pipes and fittings required for firefighting purposes made of corrosion resistant metal.
    - Include a separate outlet for occupant use (the water supply may be in the same tank as other water supplies provided that a separate outlet is reserved for fire fighting water supplies).
- ACCESS**
- For driveways that are less than 30 metres in length (measured from the public road to either the building or the water supply outlet, whichever is longer) there are no design and construction requirements.

PLANNING AND ENVIRONMENT ACT  
 GREATER BENDIGO PLANNING SCHEME  
 PLAN REFERRED TO IN PLANNING PERMIT  
 No. A41104724/s  
 For and on behalf of the City of Greater Bendigo  
 Date: 24/11/18

Execution page

SIGNED AS AN AGREEMENT

APPROVED under the COMMON SEAL of the GREATER BENDIGO CITY COUNCIL in the presence of: ) )


  
Chief Executive Officer

Full name: Craig William Niemann


Usual Address: Lyttleton Terrace  
Bendigo



EXECUTED BY MERRIMU VIEWS PTY LTD ACN 147782634 AS TRUSTEE FOR AITKEN UNIT TRUST )

  
Director

Name: Graeme William Brennan

  
Director

Name: Meryl Patricia Brennan

# GOLDEN GROVE STAGE 3 EUCALYPTUS ST, JACKASS FLAT WARRINGAL VIEWS P/L SEWERAGE RETICULATION

## SEWER NOTES

- ALL LEVELS ARE IN METRES TO AUSTRALIAN HEIGHT DATUM (AHD).
- CO-ORDINATES FOR SETTING OUT, WHERE SHOWN, ARE TO MGA.
- WORKS MUST BE TO CONSTRUCTION ACCORDING TO THE MSA GENERAL CODE OF AUSTRALIA MSA 02-2002-2.3. THE CONTRACTOR SHALL ENSURE THAT THEY ARE CONSENTANT WITH THE CURRENT REVISIONS, AMENDMENTS, SPECIFICATIONS, STANDARD DRAWINGS AND UPDATES THAT COLUBAN WATER HAVE MADE TO THEIR CONSTRUCTION STANDARDS MANUFACTURERS LIST.
- ALL MATERIALS ARE TO BE IN ACCORDANCE WITH COLUBAN WATER'S PREPARED EQUIPMENT MANUFACTURERS LIST.
- THE CONTRACTOR MUST CLEARLY UNDERSTAND THE REQUIREMENTS OF THE MSA CODE FOR THE CONSTRUCTION OF PIPES AND THEIR BASES. REFER TO THE MSA 030 SERIES DOCUMENTS WITH CLEARLY DETAIL MINIMUM REQUIREMENTS AND DIMENSIONS IN MILLIMETRES ETC. ACCEPTABLE TO COLUBAN WATER.
- TRENCH SUBSIDENCE OVER SEWER MAINS IS A REAL CONCERN FOR COLUBAN WATER. TO VERIFY COMPLIANCE, COLUBAN WATER REQUIRES EVIDENCE IN THE FORM OF COMPACTION TESTING RESULTS. COMPLIANT WITH THE MSA CODE, SECTION 22 "ACCEPTANCE TESTING".
- CHAMBERS WHERE SHOWN IN DETAIL PLANS ARE DISCONTINUOUS AT MAINTENANCE STRUCTURES.
- CHAMBERS SHOWN IN LONGITUDINAL PLANS ARE CONTINUOUS.
- PIPE MATERIAL, UNLESS SHOWN OTHERWISE.

PIPE TYPE	PIPE CLASS	AUSTRALIAN STANDARD	LOCATION
UPVC	SN6 OR SN10	A.S. 1246	WARRINGAL VIEW DRIVE
PVC-U	200	A.S. 1249	150MM DIA. RETIC SEWERS

NOTE: COVERED PIPE IS NOT ACCEPTABLE TO COLUBAN WATER.

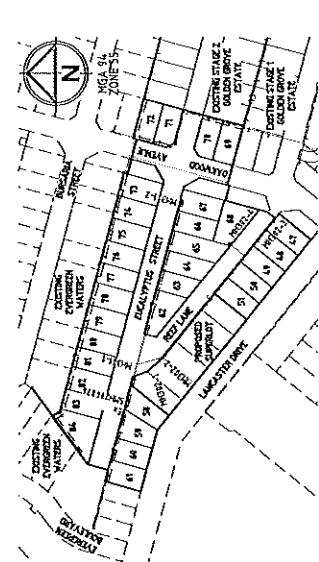
- ACCESS CHAMBERS
  - ACCESS CHAMBER COVERS SHALL BE LEVEL WITH AND SHALL CONFORM TO SLOPE AND CROSSFALL OF THE FINISHED SURFACE. THE FINISHED SURFACE LEVEL SHALL BE DETERMINED BY THE CONTRACTOR AND SHALL BE CONSTRUCTED TO THE FINISHED SURFACE LEVEL. THE CONTRACTOR SHALL PROVIDE SUFFICIENT CONSTRUCTION LEVELS INCLUDING COVER GRADES BASED ON THE ROAD AND DRAINAGE PLANS. ALL SEWER COVERS ARE TO BE CONSTRUCTED TO THESE LEVELS.
  - WARRINGAL VIEW DRIVE (WV) CHAMBER COVERS TO BE TO THE FINISHED SURFACE LEVEL FOR CLASS C OR B COVERS TO BE TO THE FINISHED SURFACE LEVEL.
  - WARRINGAL VIEW DRIVE (WV) CHAMBER COVERS TO BE TO THE FINISHED SURFACE LEVEL. PRIOR TO THE CONSTRUCTION OF FOOTPATHS SHALL BE PROVIDED WITH A TEMPORARY COVER. THE FINISH OF THE FINAL COVER SHALL NOT BE CARRIED OUT UNTIL THE CONCRETE FOOTPATH HAS BEEN UNDISTURBED.
  - ALL ACCESS CHAMBERS TO BE 1000MM DIAMETER UNLESS OTHERWISE SHOWN.
- EARTHWORK
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING WORKS. UNLESS OTHERWISE SHOWN, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING WORKS. APPROVAL TO COMMENCE SUCH APPROVAL WOULD NOT BE GIVEN UNLESS THE CONTRACTOR CAN DEMONSTRATE THAT THE SEWER WOULD BE SATISFACTORILY PROTECTED AGAINST DAMAGE FROM CONSTRUCTION LOADS.
  - WHERE CLEAR COVER LESS THAN 600MM, TYPE FEE BEDDING AND COVERING SHALL BE PLACED TO THE FINISHED SURFACE LEVEL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING WORKS. APPROVAL TO COMMENCE SUCH APPROVAL WOULD NOT BE GIVEN UNLESS THE CONTRACTOR CAN DEMONSTRATE THAT THE SEWER WOULD BE SATISFACTORILY PROTECTED AGAINST DAMAGE FROM CONSTRUCTION LOADS.
  - THE CONTRACT IS IN ACCORDANCE WITH AUSTRALIAN STANDARDS. IN ACCORDANCE WITH CLAUSE 5.0, ALL WORKS SHALL BE CONSTRUCTED TO THE FINISHED SURFACE LEVEL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING WORKS. APPROVAL TO COMMENCE SUCH APPROVAL WOULD NOT BE GIVEN UNLESS THE CONTRACTOR CAN DEMONSTRATE THAT THE SEWER WOULD BE SATISFACTORILY PROTECTED AGAINST DAMAGE FROM CONSTRUCTION LOADS.
  - COLUBAN WATER MUST BE SATISFIED BY THE CONTRACTOR PRIOR TO WORKING DAYS PRIOR TO COMMENCING WORKS ON EXISTING SEWER.
  - CONNECTION TO LIVE SEWER, COMPACT ENTRY MUST BE IN ACCORDANCE WITH BOTH MSA 02-2002-2.3 AND MSA 030 SERIES DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING WORKS. APPROVAL TO COMMENCE SUCH APPROVAL WOULD NOT BE GIVEN UNLESS THE CONTRACTOR CAN DEMONSTRATE THAT THE SEWER WOULD BE SATISFACTORILY PROTECTED AGAINST DAMAGE FROM CONSTRUCTION LOADS.
  - 2 CLEAR DAYS NOTICE PRIOR TO COMMENCEMENT OF THE WORKS MUST BE GIVEN TO THE SUPERINTENDENT.
  - MSA CODE REQUIREMENTS FOR MINIMUM VERTICAL AND HORIZONTAL CLEARANCES FROM THE SEWER ASSETS, TO OTHER SERVICES, TO BE IN ACCORDANCE WITH THE MSA CODE.

## DRAWING SCHEDULE

REFERENCE	DESCRIPTION	REVISION	SHEET NO.
C0100	SEWER RETIC GENERAL NOTES	0	1
C0200	SEWER RETIC LAYOUT PLAN	0	2
C0300	SEWER RETIC LONGITUDINAL SECTIONS	0	3

Rev	Amendment	Date	Approved	Date
B	WORKED DESIGN PLAN	B. L.	JUN 2020	
A	PRELIMINARY DESIGN PLAN	B. L.	04/02/20	

- ALL WORKS PROPOSED TO BE LOCATED WITHIN 1.0M TO THE FOOTPATH/STREET FRONTAGE, AND WHERE PROPOSED FINISHED SURFACES ARE CONSIDERED OR SLIGHTLY HIGHER THAN A FOOTPATH OR OTHER SERVICES. THE CONCRETE COVERS OF THE WORKS CONSTRUCTED AT THESE LOCATIONS, COLUBAN WATER REQUIRES EVIDENCE IN THE FORM OF COMPACTION TESTING RESULTS. COMPLIANT WITH THE MSA CODE, SECTION 22 "ACCEPTANCE TESTING".
- SEWER MAINS SHALL BE CONSTRUCTED TO THE FINISHED SURFACE LEVEL. THE CONTRACTOR SHALL PROVIDE SUFFICIENT CONSTRUCTION LEVELS INCLUDING COVER GRADES BASED ON THE ROAD AND DRAINAGE PLANS. ALL SEWER COVERS ARE TO BE CONSTRUCTED TO THESE LEVELS.
- PROPERTY CONNECTION BRANCHES ARE REQUIRED TO EXTEND TO THE END OF THE SEWER MAIN CHAMBER. IF THE EXISTENT IS A SHARED BRANCHMENT WITH STORMWATER TO THE PROPERTY CONNECTION POINT IS TO EXTEND A MINIMUM OF 3000MM BEYOND THE STORMWATER BRANCH TO THE EDGE OF THE EASEMENT.
- PROPERTY CONNECTION BRANCHES ARE TO EXTEND A MINIMUM OF 3000MM BEYOND THE PROPERTY BRANCHMENT AND REQUIRE 150MM HORIZONTAL CLEARANCE FROM SIDE BOUNDARIES.
- NO STRUCTURE SHALL BE CONSTRUCTED CLOSER THAN 0.5M FROM THE HEADS OF OR AN EXISTING OR PROPOSED COLUBAN WATER SEWERAGE ASSET.
- BLASTING - NO BLASTING IS PERMITTED.
- TESTING
  - ALL NEW SEWERS MUST BE PRESSURE TESTED. WHERE THE CONSTRUCTION DOES NOT HAVE A SUPERVISING ENGINEER.
  - ENVIRONMENTAL REQUIREMENTS
  - TREES MARKED 'X' ON THE DESIGN PLANS MAY BE REMOVED.
  - ALL TIES MUST BE PRESERVED AND PROTECTED AT ALL TIMES.
- SEWER SERVICES
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF THE HORIZONTAL ALIGNMENT AND FOR OBTAINING PERMITS PRIOR TO COMMENCING CONSTRUCTION.
  - DEPTH AND VERIFICATION OF LEVELS SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.
- THE DESIGN COMPLIES WITH COLUBAN WATER STANDARDS AND THE SUPPLY OFFER SHEET DATED 16/03/2020.
- THE CONTRACTOR MUST LOCATE ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF WORKS.
- THE LEVEL OF ALL EXISTING OUTFALL SEWERS MUST BE DETERMINED BY THE CONTRACTOR PRIOR TO WORKS COMMENCING.
- CLASS 1 FIBRE OPTIC MUST BE USED WHERE SEWER MAINS CROSS ROAD OR FUTURE FOOTPATHS OR EXISTING SERVICES.
- PIPES JOINS ARE TO BE CONSTRUCTED STRICTLY TO THE MANUFACTURERS SPECIFICATIONS. MANUALLY JOINED AND NOT USING MECHANICAL EQUIPMENT SUCH AS AN EXCAVATOR, SUCKET ETC. PROPERTY CONNECTION POINT JUMPS ARE TO BE FINISHED AT SURFACE LEVEL WITH A CONCRETE CURB AND COVER AS PER COLUBAN WATER'S AMENDMENT.
- THE CONTRACTOR MUST ADHERE TO THE CODE OF PRACTICE FOR SAFETY PRECAUTIONS IN TRENCHING OPERATIONS UNDER THE OCCUPATIONAL HEALTH & SAFETY ACT 2004.
- CAST IRON CONCRETE INFILL STYLE COVERS ARE NOT ACCEPTABLE.
- THE CONCRETE FINISH OF THE MANHOLE RINGS AND CHANNELS HAS BEEN FINISHED WITH A METAL FEAT. A BROOM FINISH IS NOT ACCEPTABLE.
- CONTRACTOR TO REFER TO MSA CODE CLAUSE 314 "MANHOLE PIPE CONNECTION DETAIL" AND DRAWING SEW-020-A AND SEW-020-B. INSURANCE IS REQUIRED TO VERIFY THE NEED FOR OR EXCESSIVE THE NEED FOR PROTECTIVE JOINTS OR COUPLERS AND A PROTECTIVE JOINTS TO BE BETWEEN THE MANHOLE BASE AND THE SEWER.
- THE SALVAGE POINT JOINT DETAIL OPTION SHOULD NOT BE USED IF THE MANHOLE FOUNDATION HAS A BEARING PRESSURE LESS THAN 1000K.



**LOCALITY PLAN**  
SCALE: NOT TO SCALE  
VICROADS: 687 S3

WARRINGAL VIEWS P/L  
GRAEME BRENNAN  
8 GORDONS RD, LOWER TEMPLESTOWE, VIC 3107  
graeme@brennanddevelopment.com.au  
0417 329 866

**WARNING**  
BEWARE OF UNDERGROUND OVERHEAD SERVICES  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING WORKS. APPROVAL TO COMMENCE SUCH APPROVAL WOULD NOT BE GIVEN UNLESS THE CONTRACTOR CAN DEMONSTRATE THAT THE SEWER WOULD BE SATISFACTORILY PROTECTED AGAINST DAMAGE FROM CONSTRUCTION LOADS.



**SERVICE LOCATION TABLE**

ROAD NAME	POTABLE WATER		GAS		NBN (TELECOM)		ELECTRICITY		RECYCLED WATER	
	SIZE	DEPTH	SIZE	DEPTH	SIZE	DEPTH	SIZE	DEPTH	SIZE	DEPTH
WARRINGAL VIEW DRIVE (WV)	150	1.00	150	1.00	150	1.00	150	1.00	150	1.00
WARRINGAL VIEW DRIVE (WV)	150	1.00	150	1.00	150	1.00	150	1.00	150	1.00
WARRINGAL VIEW DRIVE (WV)	150	1.00	150	1.00	150	1.00	150	1.00	150	1.00
WARRINGAL VIEW DRIVE (WV)	150	1.00	150	1.00	150	1.00	150	1.00	150	1.00
WARRINGAL VIEW DRIVE (WV)	150	1.00	150	1.00	150	1.00	150	1.00	150	1.00
WARRINGAL VIEW DRIVE (WV)	150	1.00	150	1.00	150	1.00	150	1.00	150	1.00

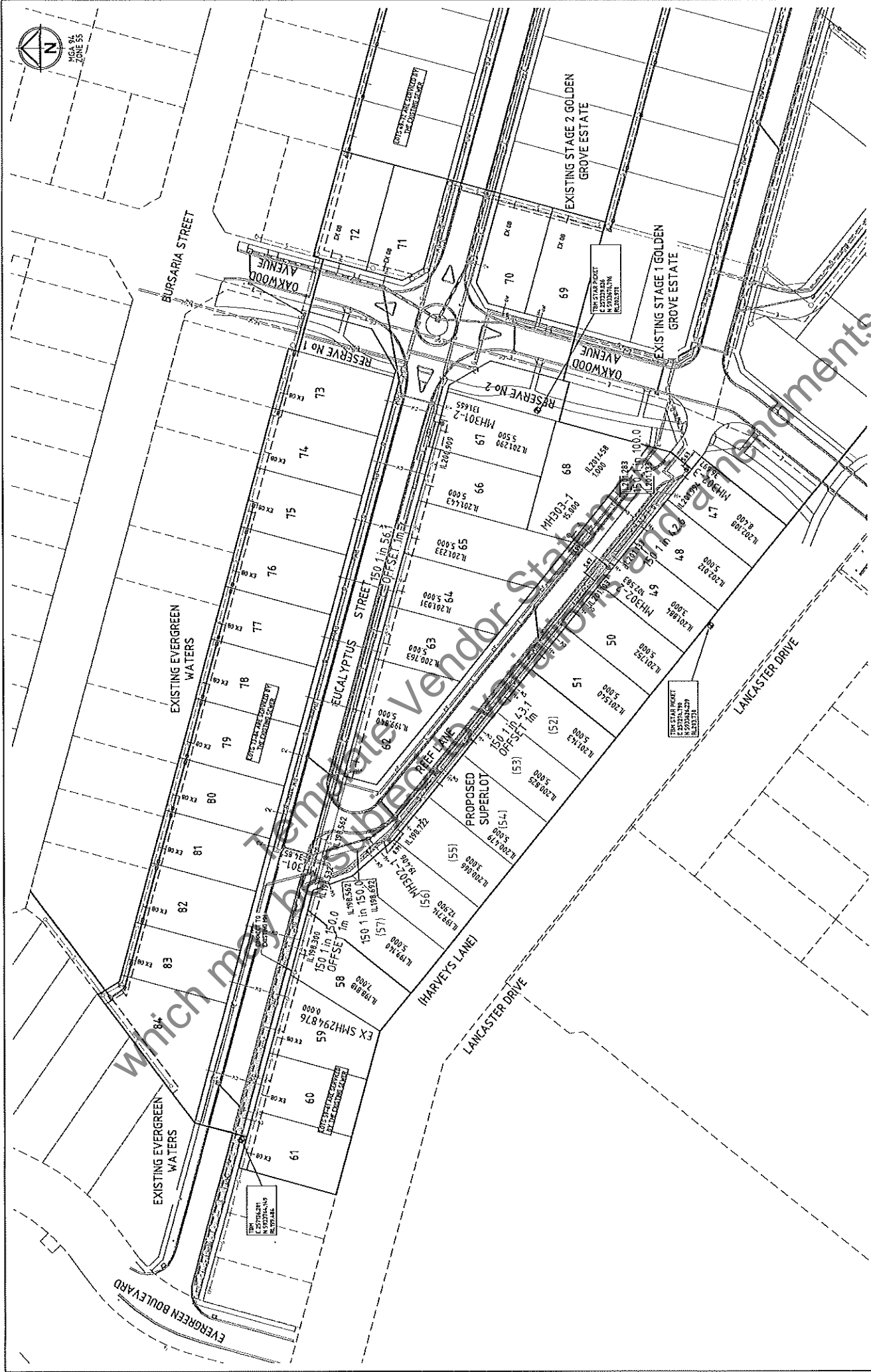
- TELECOMMUNICATIONS AND ELECTRICITY CABLES TO BE CONSTRUCTED IN A DEEPER TRENCH IN ACCORDANCE WITH ELECTRICITY AUTHORITY STANDARD DR04.
- GAS AND WATER MAINS TO BE CONSTRUCTED IN A COMMON TRENCH.
- \*\* OFFSET FROM FACE OF RIGHT

**spire**  
10 Bridge Street Bendigo  
VIC 3480 Australia T: 0546 822 620  
spire@spire.com.au  
AHD 18 00 00 00 00 00 00

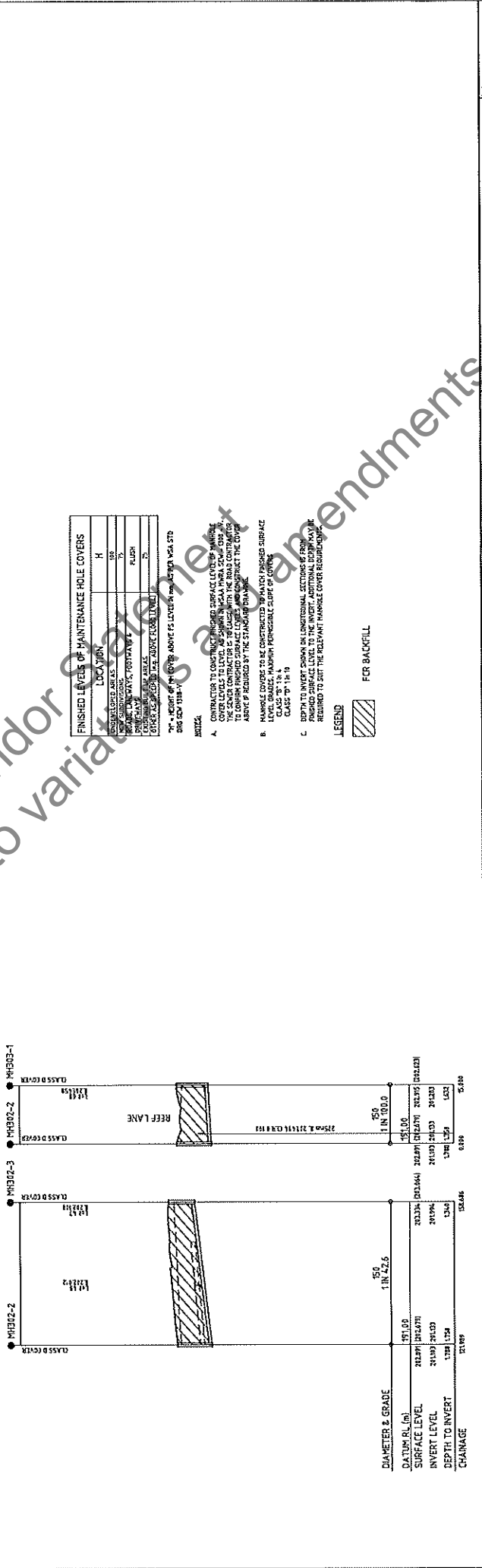
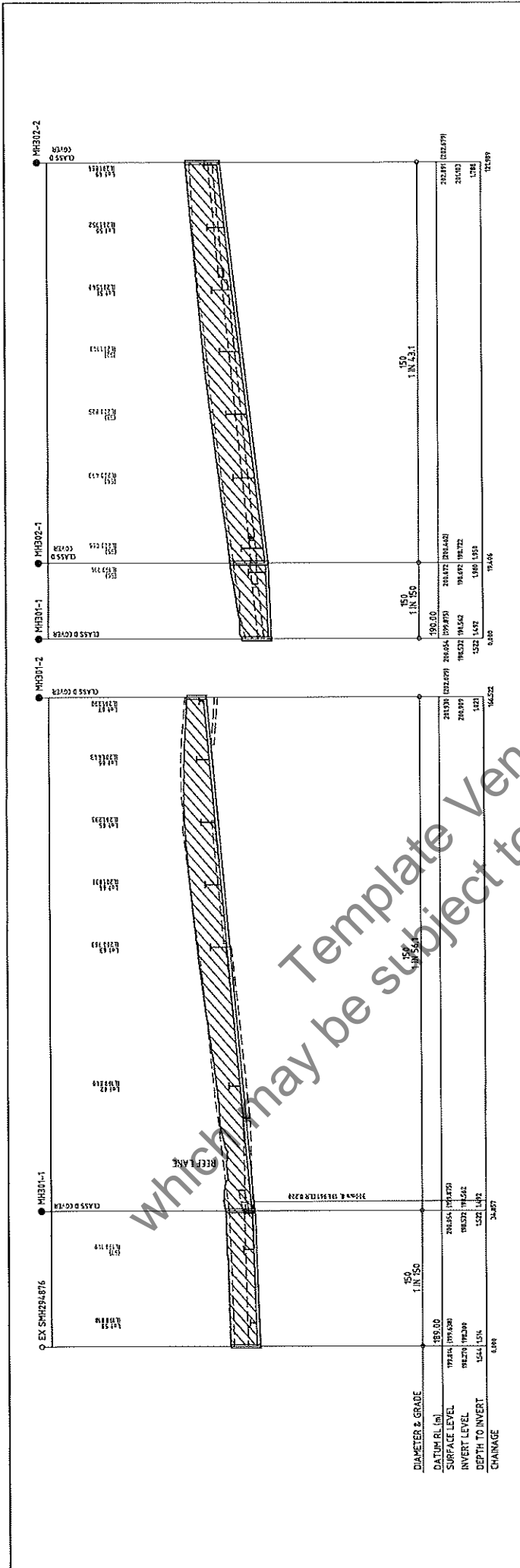
**WARRINGAL VIEWS P/L**  
H. OAKLEY-WARREN  
SME 20465  
607 SS  
307310CS100

**COLUBAN WATER**  
CITY OF GREATER BENDIGO DS/26/2010 AND AM9042011A  
GOLDEN GROVE STAGE 3  
SEWER RETIC GENERAL NOTES  
FACE SHEET  
WARRINGAL VIEWS P/L  
**PRELIMINARY**

N.T.S  
1 of 3  
CS100  
307310



<p><b>spire</b> 15 Bridge Street, Suite 101 Melbourne VIC 3000 Australia Tel: +61 3 9440 2000 spire.com.au</p>		<p>Checked: H. OAKLEY-WARREN SME 20465 Date: JUN 2020</p> <p>Approved: B. IBBS Date: 30/7/2020</p>	<p>Project: COLIBAN WATER City of Greater Bendigo CS2262810 and AM/6042011A Golden Grove Stage 3 Sewer Retic Layout Plan Face Plan Warrigal Views P/L</p>	<p>Scale: 1:500 @ A1 Sheet: 2 of 3 Drawing No: CS200 Revision: 307310</p>
<p><b>SYMBOLS AND GENERAL NOTES</b></p> <p>PROPOSED SUPERLOT EXISTING SUPERLOT PROPOSED INSPECTION CHAMBER PROPOSED MANHOLE EXISTING MANHOLE EXISTING SUBSTATION HOLE EXISTING SUBSTATION CHAMBER 100mm DIA. PIPE</p>		<p>Scale: 1:500 @ A1 Date: JUN 2020</p>	<p>Author: B. IBBS Date: 30/7/2020</p>	<p>Project: COLIBAN WATER City of Greater Bendigo CS2262810 and AM/6042011A Golden Grove Stage 3 Sewer Retic Layout Plan Face Plan Warrigal Views P/L</p>
<p>Author: B. IBBS Date: 30/7/2020</p>		<p>Scale: 1:500 @ A1 Date: JUN 2020</p>	<p>Project: COLIBAN WATER City of Greater Bendigo CS2262810 and AM/6042011A Golden Grove Stage 3 Sewer Retic Layout Plan Face Plan Warrigal Views P/L</p>	<p>Project: COLIBAN WATER City of Greater Bendigo CS2262810 and AM/6042011A Golden Grove Stage 3 Sewer Retic Layout Plan Face Plan Warrigal Views P/L</p>



**FINISHED LEVELS OF MAINTENANCE HOLE COVERS**

LOCATION	FINISHED LEVEL (M)
LOC 1	198.00
LOC 2	198.00
LOC 3	198.00
LOC 4	198.00
LOC 5	198.00
LOC 6	198.00
LOC 7	198.00
LOC 8	198.00
LOC 9	198.00
LOC 10	198.00
LOC 11	198.00
LOC 12	198.00
LOC 13	198.00
LOC 14	198.00
LOC 15	198.00
LOC 16	198.00
LOC 17	198.00
LOC 18	198.00
LOC 19	198.00
LOC 20	198.00
LOC 21	198.00
LOC 22	198.00
LOC 23	198.00
LOC 24	198.00
LOC 25	198.00
LOC 26	198.00
LOC 27	198.00
LOC 28	198.00
LOC 29	198.00
LOC 30	198.00
LOC 31	198.00
LOC 32	198.00
LOC 33	198.00
LOC 34	198.00
LOC 35	198.00
LOC 36	198.00
LOC 37	198.00
LOC 38	198.00
LOC 39	198.00
LOC 40	198.00
LOC 41	198.00
LOC 42	198.00
LOC 43	198.00
LOC 44	198.00
LOC 45	198.00
LOC 46	198.00
LOC 47	198.00
LOC 48	198.00
LOC 49	198.00
LOC 50	198.00

**NOTES:**

- CONTRACTOR TO CONSTRUCT FINISHED SURFACE LEVEL OF FINISHED COVER LEVELS TO BE 150mm ABOVE FINISHED SURFACE LEVEL OF COVER. TO CONFORM WITH LOCAL AUTHORITY REQUIREMENTS. TO CONFORM WITH FINISHED SURFACE LEVELS AND CONSTRUCT THE COVER ABOVE AS REQUIRED BY THE STANDARD DRAWING.
- MANHOLE COVERS TO BE CONSTRUCTED TO MATCH FINISHED SURFACE LEVEL GRADE. MAXIMUM PERMISSIBLE SLOPE OF COVER IS 1:15.
- NOT TO BE CONSTRUCTED FOR LONGER PERIODS THAN SPECIFIED IN THE DRAWING. ADDITIONAL WORK MAY BE REQUIRED TO SUIT THE RELEVANT MANHOLE COVER REQUIREMENTS.

**LEGEND:**

- [Hatched Pattern] FOR BACKFILL

**spire**

10 Dingo Street Bendigo  
Victoria 3500 Australia T: 013 3444 3300  
spire.com.au

19 Dingo Street Bendigo  
Victoria 3500 Australia T: 013 3444 3300  
spire.com.au

**PRELIMINARY**

WARRINGAL VIEWS P/L

LONG SECTIONS  
SEWER RETIC LONGITUDINAL SECTIONS  
GOLDEN GROVE STAGE 3  
AS SHOWN

Project: CS300  
Sheet: 3 of 3  
Date: 30/7/20

Client: H. OAKLEY-WARREN  
Date: JUN 2020  
Sheet No: SWE 20465  
Scale: 607.50

Checked: B. IBBS  
Approved: B. IBBS

**VERIFIED DESIGN PLANS**

A. PRELIMINARY DESIGN PLAN

Rev: \_\_\_\_\_

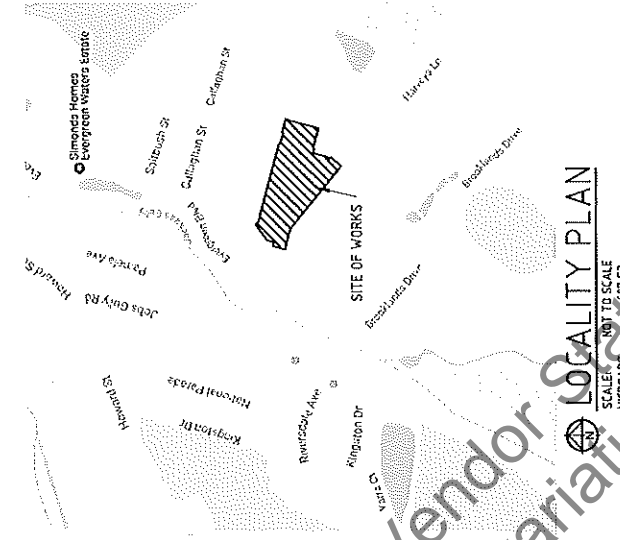
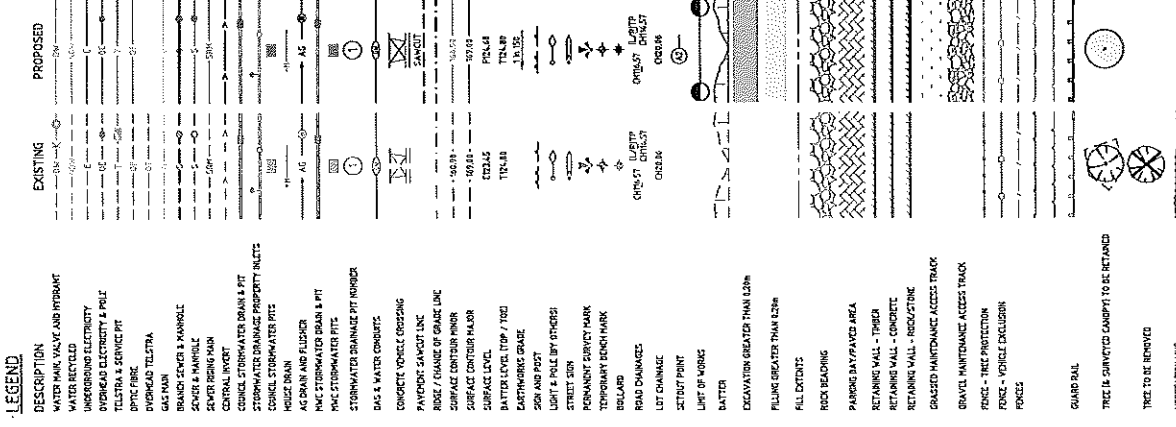
Approval: \_\_\_\_\_

Date: \_\_\_\_\_

# GOLDEN GROVE STAGE 3 38 LOT SUBDIVISION WARRINGAL VIEWS P/L

## GENERAL NOTES

1. ALL WORK TO BE CARIED OUT BY THE CITY OF GREATER BENDIGO SUPERGRADING, STANDARD DRAINAGE, STAKEOUT AND TO THE SATISFACTION OF GOLDEN GROVE STAGE 3 DEVELOPMENT OFFICER OR HIS REPRESENTATIVE.
2. ALL LEVELS ARE TO AUSTRALIAN HEIGHT DATUM AND ALL COORDINATES ARE TO MAP GRID OF AUSTRALIA 1984.
3. THE LOCATION OF EXISTING SERVICES SHOULD BE DETERMINED PRIOR TO COMMENCING ANY EXCAVATION BY CONTACTING ALL SERVICE AUTHORITIES. ANY EXISTING SERVICES SHOWN ON THESE DRAWINGS ARE OFFERED AS A GUIDE ONLY AND ARE NOT GUARANTEED AS CORRECT.
4. ALL AREAS ARE TO BE PROTECTED BY TENSILE FENCING AND ONLY TO BE TOPSOILED ON THE DIRECTION OF THE DESIGNER TO THE FINAL FINISH LEVELS.
5. ALL EXCAVATIONS TO BE APPROVED BY THE PROJECT DESIGNER/ENGINEER. LOCAL LAKE  
- PLACED IN LAYERS NOT EXCEEDING 300MM LOOSE THICKNESS.  
- PLACED TO A MINIMUM 50MM ABOVE FINISH GRADE.  
- PLACED TO A MINIMUM 50MM ABOVE FINISH GRADE.  
- PLACED TO A MINIMUM 50MM ABOVE FINISH GRADE.
6. EXISTING PROPOSED SERVICES TRAVELLING THROUGH THE SITE ARE TO BE CLEANED OUT AND DISCHARGED TO POND LAGOON AND FILL TO FINISHED SURFACE LEVELS TO THE SPECIFIED COMPACT STANDARDS.
7. ALL WORK TO BE RECONSTRUCTED BY THE RESPONDING CONTRACTOR AS FOUND TO BE WORKING AT THE COMPLETION OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CARE AND MAINTENANCE OF THESE WORKS.
8. BEFORE COMMENCING WORK ON OR NEAR MAIN OR SUB MAINS, THE CONTRACTOR SHALL BE NOTIFIED IN WRITING BY THE NETWORK SERVICE AUTHORITY IN ACCORDANCE WITH THE WIRELESS ACT, 2001 AND 433Z SECTION 38 AND THE OCCUPATIONAL HEALTH AND SAFETY ACT 2002. THIS NOTIFICATION MUST BE RECEIVED BY THE AUTHORITY AT LEAST 14 DAYS PRIOR TO COMMENCING EXCAVATION, AND A COPY OF THE NOTIFICATION MUST BE PROVIDED TO THE SUPERGRADER.
9. THE CONTRACTOR'S RESPONSIBILITY IS TO BE NOTIFIED IN WRITING SEVEN (7) DAYS PRIOR TO THE COMMENCEMENT OF WORK.
10. NO EXCAVATION WITHIN 5M OF ANY CASTING TRAIL WITHOUT APPROVAL OF THE DESIGNER.
11. NO SERVICES TO BE PROTECTED WITHIN THE CITY OF GREATER BENDIGO WITHOUT OBTAINING COUNCIL'S SPECIAL PERMISSION.
12. EXCAVATION MATERIALS SHALL BE TO BE REMOVED FROM THE SITE AS SPECIFIED.
13. ALL EXISTING ROAD, CONCRETE AND BITUMINOUS SURFACES SHALL BE DEPOSED OFF SITE AS SPECIFIED. THE CONTRACTOR SHALL CHECK WITH SUPERINTENDENT WHETHER ANY LARGE ROCKS ARE REQUIRED FOR LANDSCAPE PURPOSES PRIOR TO DISPOSAL.
14. NATURAL STONES AND ALL AREAS OF CUT OUTSIDE ROAD RESERVE TO BE SUBGRADED WITH 300MM THICK COMPACTED LAYER OF TOPSOIL.
15. ROAD WORKS  
1. EXISTING ARE TO BE LEANED UNLESS SHOWN OTHERWISE. REPAIRS TO BE CONSTRUCTED TO THE CITY OF GREATER BENDIGO STANDARDS.  
2. EXISTING PAVEMENT STRUCTURE AT VEHICLE CROSSINGS, INTERSECTIONS, TYPING HEADS AND INTERSECTIONS WHERE CHANNELS REFER TO ROAD OF ROAD.  
3. ALL CHANNELS REFER TO ROAD PAVEMENT CONTAINERS EXCEPT IN CURB HEADS AND INTERSECTIONS WHERE CHANNELS REFER TO ROAD OF ROAD.  
4. THE CONTRACTOR IS TO BE RESPONSIBLE FOR OBTAINING CONSTRUCTION VEHICLES TO THE ROAD RESERVE AND EASEMENTS. ANY DAMAGE CAUSED TO ALLIANCE MUST BE MAINTAINED.  
- CUT IN IN UNLESS OTHERWISE SHOWN.  
- FILL IN UNLESS OTHERWISE SHOWN.  
5. ALL CUT AND FILL OPERATIONS ARE TO BE TO THE CITY OF GREATER BENDIGO STANDARDS.  
- CUT IN UNLESS OTHERWISE SHOWN.  
- FILL IN UNLESS OTHERWISE SHOWN.  
6. ALL CUT AND FILL OPERATIONS ARE TO BE TO THE CITY OF GREATER BENDIGO STANDARDS.  
7. EXISTING ROAD RESERVE ARE TO BE MAINTAINED EXCEPT WHERE SHOWN OTHERWISE. ALL ROAD RESERVE ARE TO BE MAINTAINED IN ACCORDANCE WITH LOCAL COUNCILS REQUIREMENTS.  
8. ALL ROAD RESERVE ARE TO BE MAINTAINED EXCEPT WHERE SHOWN OTHERWISE. ALL ROAD RESERVE ARE TO BE MAINTAINED IN ACCORDANCE WITH LOCAL COUNCILS REQUIREMENTS.  
9. ANY TYPING HEADS WITHIN THE CITY OF GREATER BENDIGO ROAD RESERVE ARE TO BE MAINTAINED IN ACCORDANCE WITH LOCAL COUNCILS REQUIREMENTS.  
10. CONCRETE TO HAVE 28 DAY STRENGTH OF 25MPa UNLESS NOTED OTHERWISE.



REFERENCE	DESCRIPTION	REVISION	SHEET NO.
CR100	ROAD & DRAINAGE FACE SHEET	A	1
CR101	ROAD & DRAINAGE LAYOUT PLAN	A	2
CR102	ROAD & DRAINAGE LAYOUT PLAN	A	3
CR103	ROAD & DRAINAGE LAYOUT PLAN	A	4
CR104	ROAD & DRAINAGE LAYOUT PLAN	A	5
CR105	ROAD & DRAINAGE LAYOUT PLAN	A	6
CR106	ROAD & DRAINAGE LAYOUT PLAN	A	7
CR107	ROAD LEGISLATIVE SECTIONS	A	8
CR108	ROAD LEGISLATIVE SECTIONS	A	9
CR109	ROAD LEGISLATIVE SECTIONS	A	10
CR110	ROAD LEGISLATIVE SECTIONS	A	11
CR111	ROAD LEGISLATIVE SECTIONS	A	12
CR112	ROAD LEGISLATIVE SECTIONS	A	13
CR113	ROAD LEGISLATIVE SECTIONS	A	14
CR114	ROAD LEGISLATIVE SECTIONS	A	15
CR115	ROAD LEGISLATIVE SECTIONS	A	16
CR116	ROAD LEGISLATIVE SECTIONS	A	17
CR117	ROAD LEGISLATIVE SECTIONS	A	18
CR118	ROAD LEGISLATIVE SECTIONS	A	19
CR119	ROAD LEGISLATIVE SECTIONS	A	20
CR120	ROAD LEGISLATIVE SECTIONS	A	21

ROAD NAME	POTABLE WATER	GAS	NBN (TELECOM)	ELECTRICITY	RECYCLED WATER
16A YALGAM STREET (L&R) 0.00 - 0.00	N	N	N	N	N
16B YALGAM STREET (L&R) 0.00 - 0.00	N	N	N	N	N
16C YALGAM STREET (L&R) 0.00 - 0.00	N	N	N	N	N
16D YALGAM STREET (L&R) 0.00 - 0.00	N	N	N	N	N
16E YALGAM STREET (L&R) 0.00 - 0.00	N	N	N	N	N

1. TELECOMMUNICATIONS AND ELECTRICITY CABLES TO BE CONSTRUCTED IN A COMMON TRENCH IN ACCORDANCE WITH ELECTRICITY AUTHORITY STANDARD RULES.
2. GAS AND WATER MAINS TO BE CONSTRUCTED IN A COMMON TRENCH.
3. \*\* OFFSET FROM BACK OF ROAD

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**WARNING**  
BEWARE OF UNDERGROUND/OVERHEAD SERVICES  
THE LOCATION OF SERVICES ARE APPROXIMATE ONLY  
ON SITE. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING SERVICES AND TAKE APPROPRIATE PRECAUTIONS BEFORE COMMENCING ANY EXCAVATION WORK. THE CITY OF GREATER BENDIGO IS NOT RESPONSIBLE FOR ANY DAMAGE CAUSED TO ANY SERVICES.

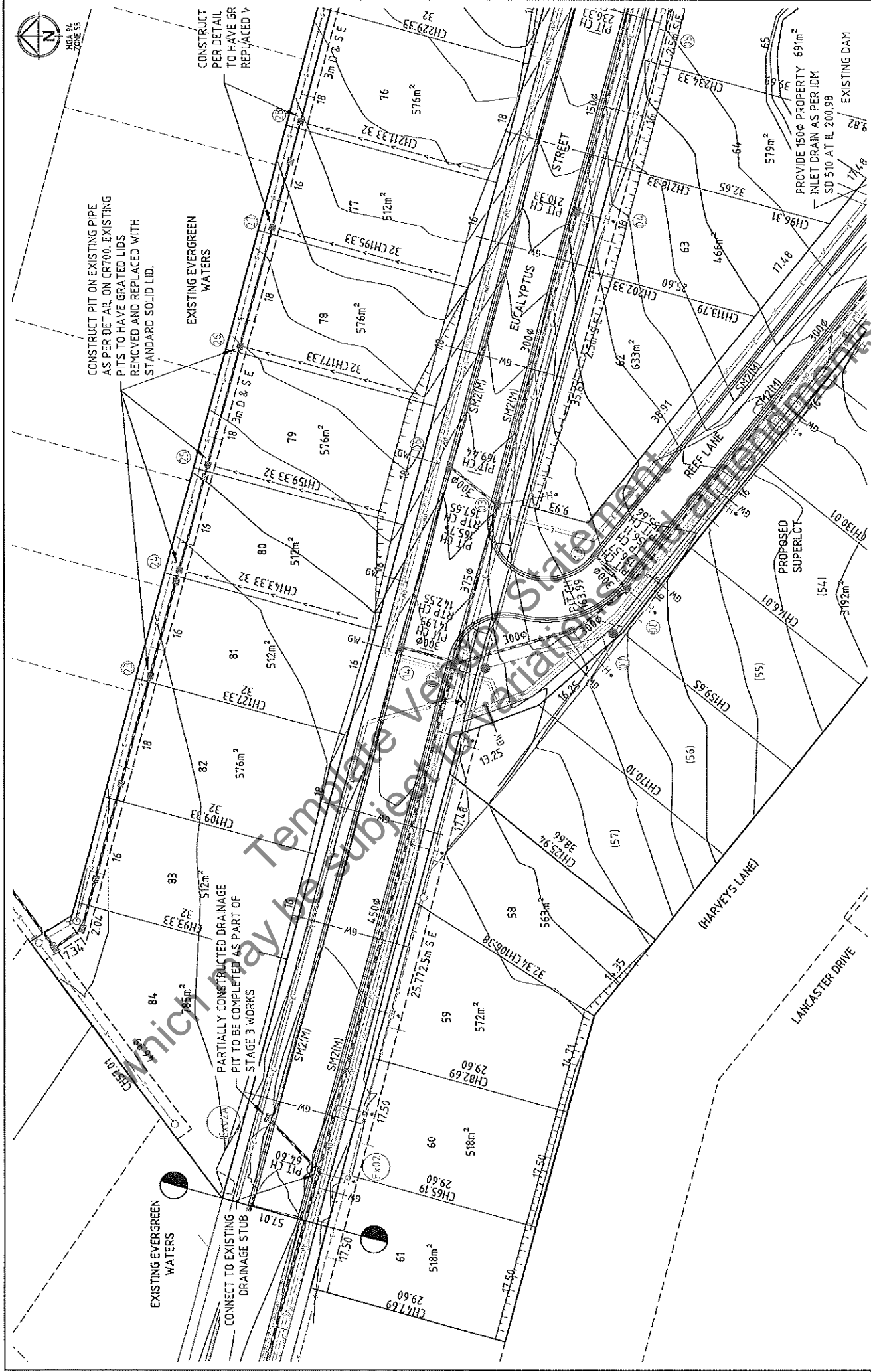
**spire**  
10 Dingo Drive, Bendigo  
Victoria 3550 Australia Tel: 0 13 0440 2000  
spire.com.au

**GOLDEN GROVE STAGE 3  
EUCALYPTUS ST JACKASS FLAT  
ROAD & DRAINAGE FACE SHEET  
PAGE SHEET  
CITY OF GREATER BENDIGO DS/229/2010 AND AM504/2011A  
WARRINGAL VIEWS P/L**

**PRELIMINARY** 307310CR100

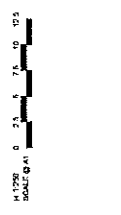
Drawn: B. IBBS  
Checked: H. CAGLEY-WARREN  
Approved: B. IBBS  
Date: JUN 2020



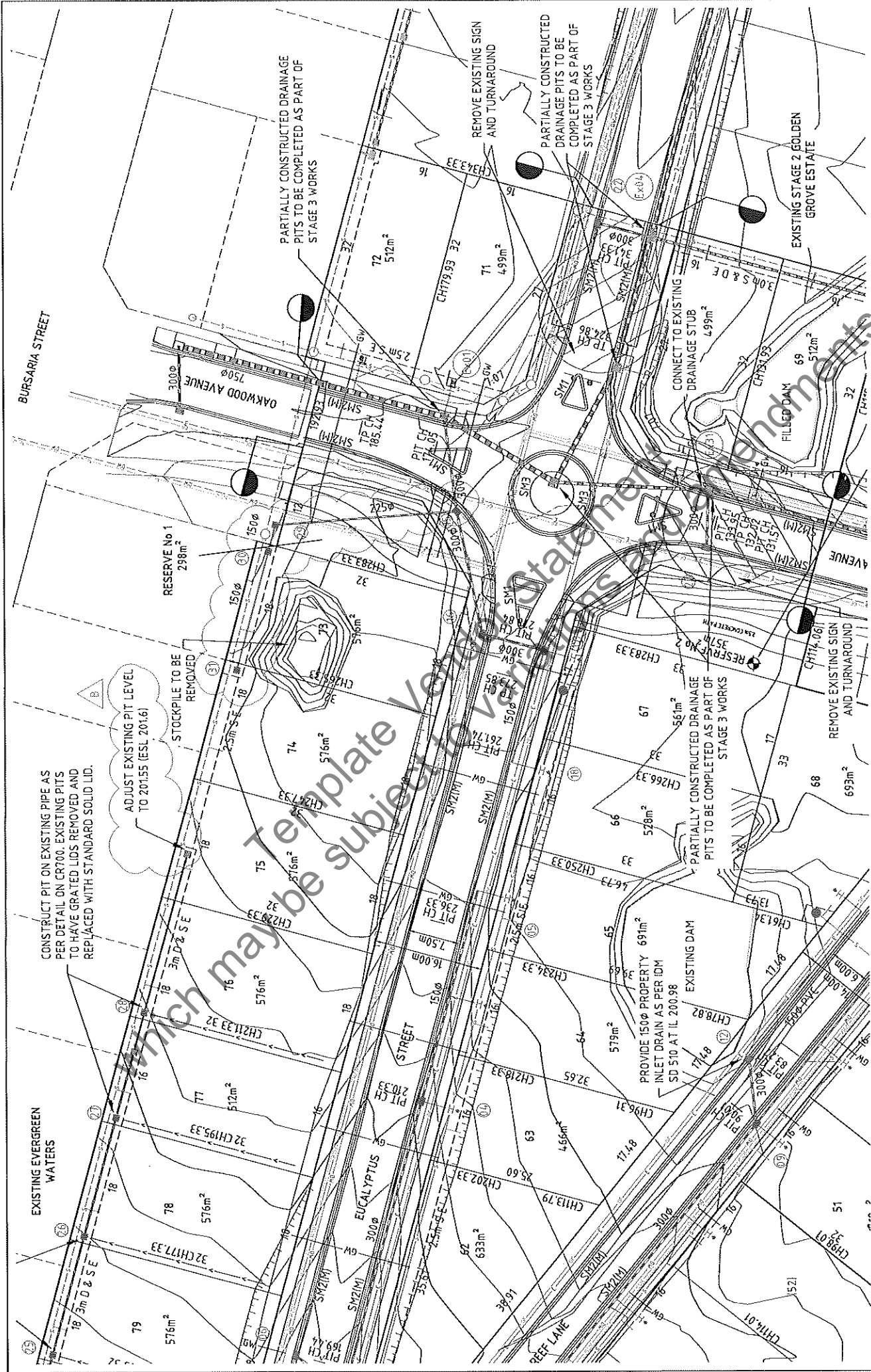


NGA 94  
ZONE 55

<p><b>spire</b></p> <p>16 Bridge Street, Docklands Victoria 3008 Australia T 61 3 9442 2266 spire@spire.com.au AIN 80 90 90 00 00 00 00 00</p>	<p><b>Designed:</b> H. OAKLEY-WARREN</p> <p><b>Client:</b> B. IBSB</p> <p><b>Date:</b> JUN 2020</p>	<p><b>Project:</b> GOLDEN GROVE STAGE 3 EUCALYPTUS ST JACKASS FLAT ROAD &amp; DRAINAGE LAYOUT PLAN FACE PLAN 1 CITY OF GREATER BENDIGO DS/26262010 AND AM/664/2011A WARRINGAL VIEWS PDL</p>	<p><b>Drawn:</b> B. IBSB</p> <p><b>Check:</b> B. IBSB</p> <p><b>Date:</b> JUN 2020</p>
	<p><b>PRELIMINARY</b></p>		
	<p><b>Rev 001</b></p>		



Rev	Amendments	Approved	Date
A	PRELIMINARY ISSUE	B.I.	JUN 2020



**GOLDEN GROVE STAGE 3  
EUCALYPTUS ST. JACKASS FLAT  
ROAD & DRAINAGE LAYOUT PLAN  
PAGE PLAN 2**

CITY OF GREATER BENDIGO DS229/2010 AND AM/SD4/2011A  
WARRINGAL VIEWS P/L

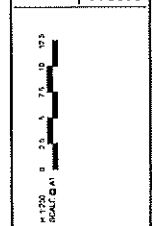
**PRELIMINARY** DRG No 307310CR201 Rev B

Checked H. OAKLEY-WARREN  
Checked B. IBBS  
Drawn B. IBBS  
Date JUN 2020

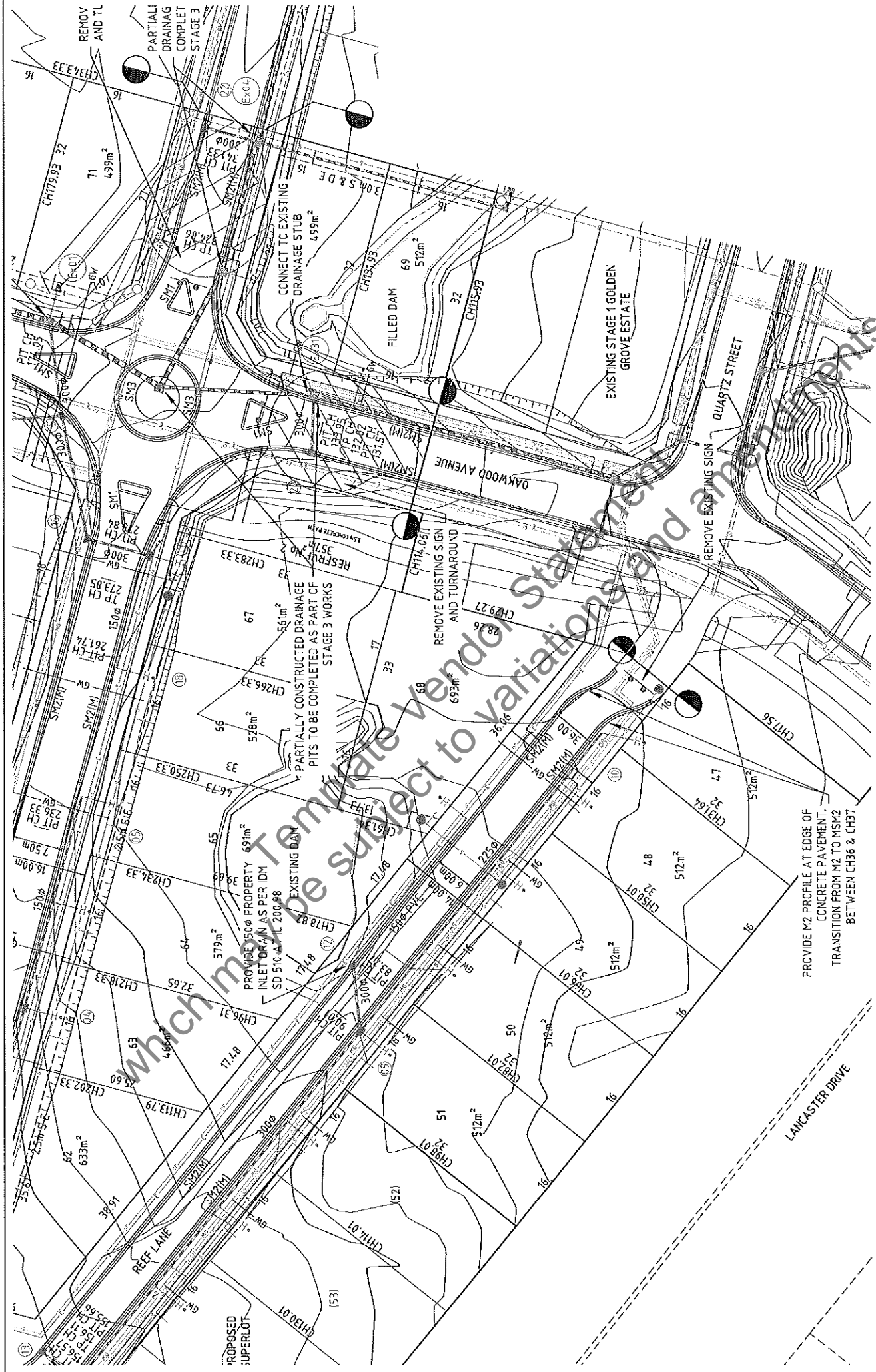
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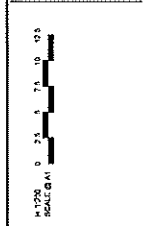
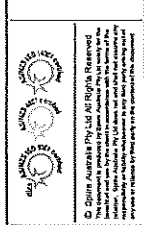
Rev	Author	Approved	Date
A	PRELIMINARY DESIGN	B. I.	JUN 2020
B	ADDED DRAINAGE IN REAR OF LOTS 73-74	B. I.	JUN 2020



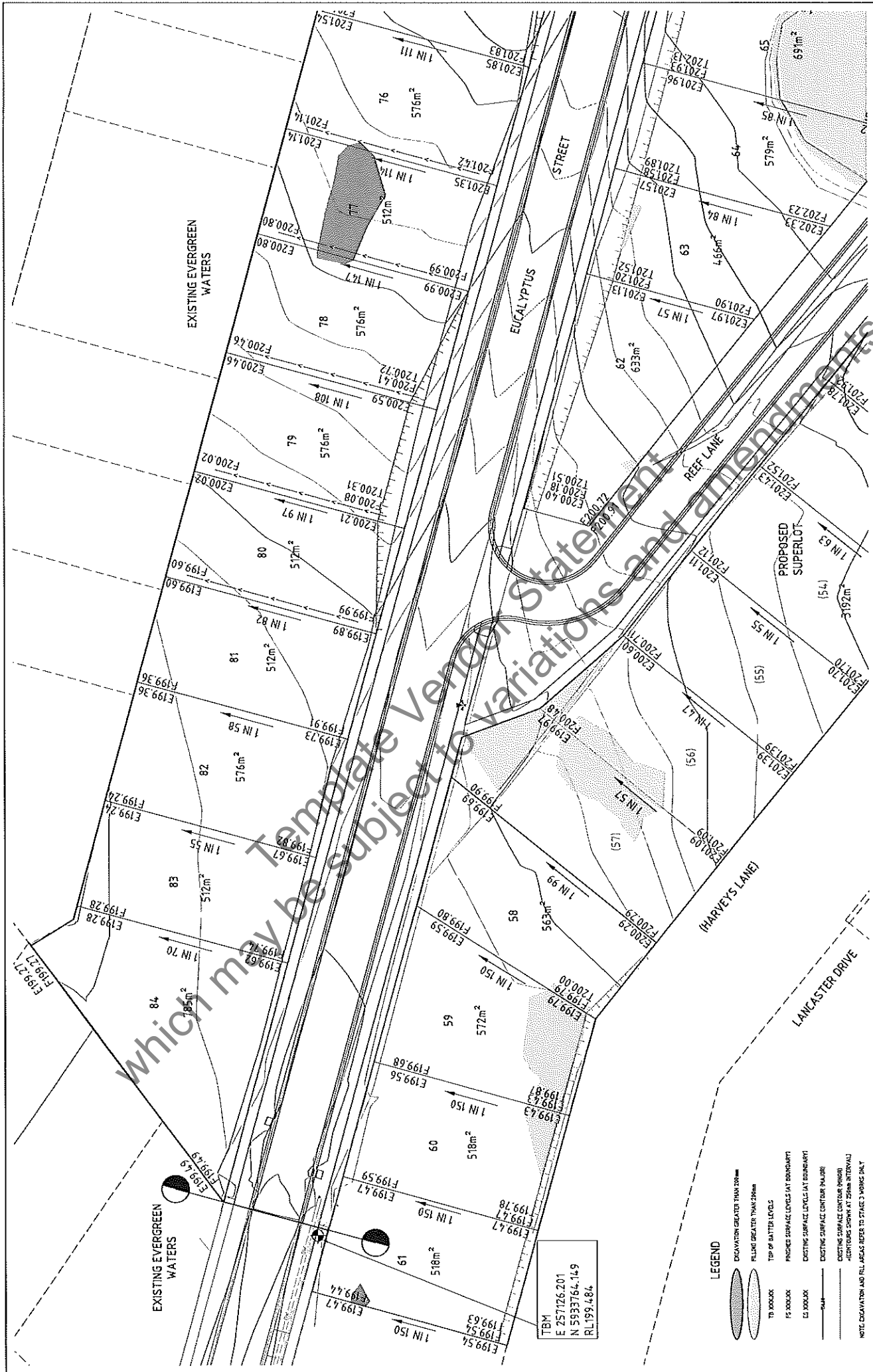
**GOLDEN GROVE STAGE 3**  
**EUCALYPTUS ST, JACKASS FLAT**  
 ROAD & DRAINAGE LAYOUT PLAN  
 FACE PLAN 3  
 CITY OF GREATER BENDIGO DS/226/2010 AND AM/9042011A  
 WARRINGAL VIEWS P/L

Drawn by: H. OAKLEY-WARREN  
 Checked by: B. IBBS  
 Approved by: B. IBBS  
 Date: JUN 2020

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Rev	Amendment	Appr	Date
A	PRELIMINARY ISSUE	D. L.	JUN 2020



TBM  
 E 257126.201  
 N 5933764.149  
 RL199.484

**LEGEND**

- EXCAVATION GREATER THAN 200mm
- FILLING GREATER THAN 200mm
- TOP OF BATTER LEVELS
- FINISHED SURFACE LEVELS AT BOUNDARY
- EXISTING SURFACE LEVELS AT BOUNDARY
- EXISTING SURFACE CONTOUR (M/RI)
- EXISTING SURFACE CONTOUR (M/RI)
- EXISTING SURFACE CONTOUR (M/RI)
- EXISTING SURFACE CONTOUR (M/RI)

NOTE: EXCAVATION AND FILL AREAS REFER TO STAGE 3 WORK ONLY.



10 Bldg Direct Drivg  
 Victoria 3000 Australia | t: 03 4448 2348  
 spire@spire.com.au



Engineer  
 Surveyor



Rev	Appr	Date
A	PRELIMINARY ISSUE	
B	Amendments	

**GOLDEN GROVE STAGE 3**  
**EUCALYPTUS ST, JACKASS FLAT**  
 ROAD & DRAINAGE LAYOUT PLAN  
 EARTHWORKS PLAN  
 CITY OF GREATER BENDIGO DS/226/2010 AND AM/9/04/2011A  
 WARRINGAL VIEWS P/L

Checked  
 B. IBBS  
 Date  
 JUN 2020

Authorised  
 B. IBBS

Drawn  
 H. OAKLEY-WARREN  
 Date  
 JUN 2020

Drawn  
 B. IBBS  
 Date  
 JUN 2020

Drawn  
 B. IBBS  
 Date  
 JUN 2020

Drawn  
 B. IBBS  
 Date  
 JUN 2020

Drawn  
 B. IBBS  
 Date  
 JUN 2020

Draw No  
 307310CR203  
 Rev  
 A

Drawn  
 B. IBBS  
 Date  
 JUN 2020

Authorised  
 B. IBBS

Drawn  
 H. OAKLEY-WARREN  
 Date  
 JUN 2020

Drawn  
 B. IBBS  
 Date  
 JUN 2020

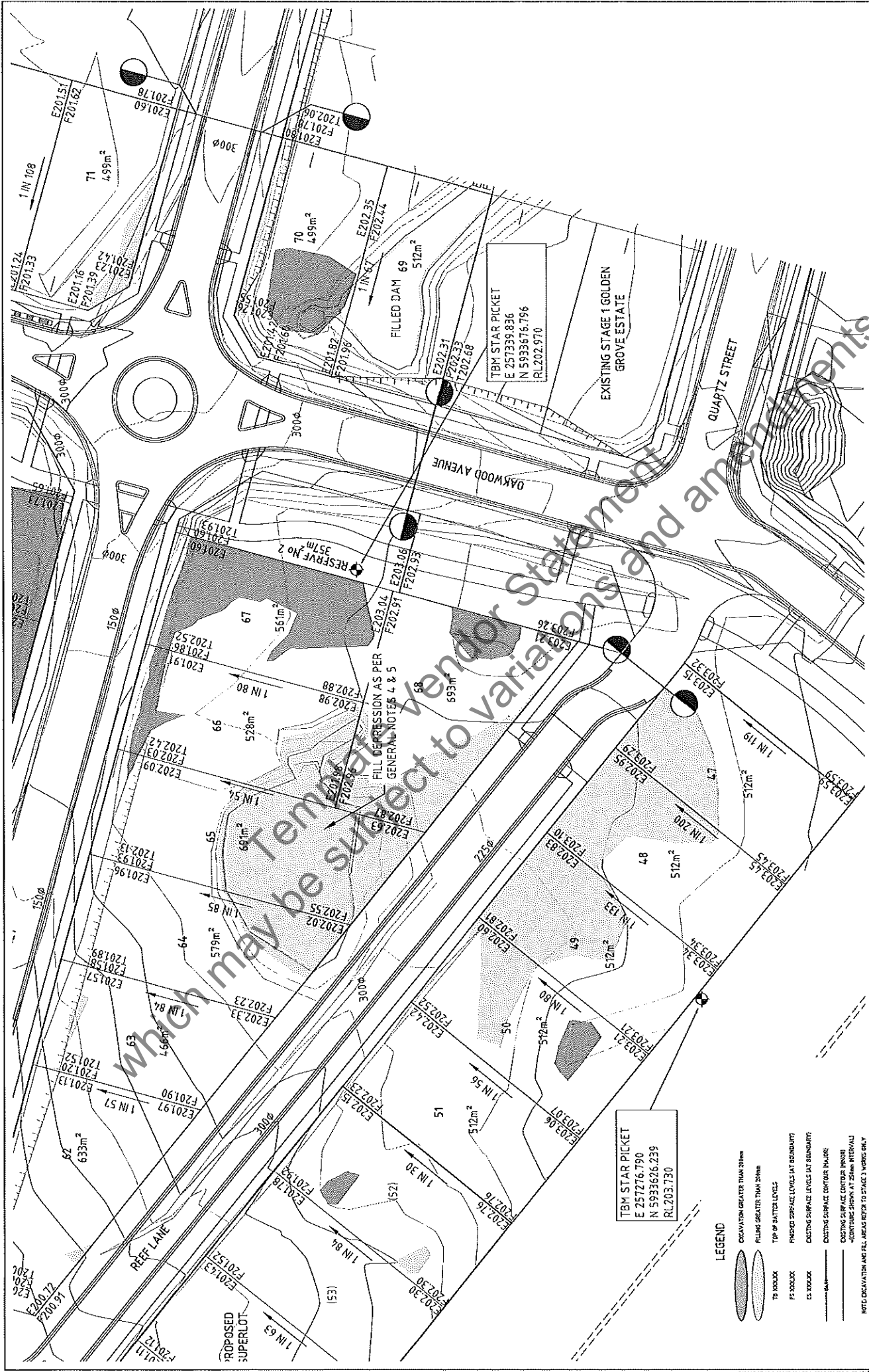
Drawn  
 B. IBBS  
 Date  
 JUN 2020

Drawn  
 B. IBBS  
 Date  
 JUN 2020

Drawn  
 B. IBBS  
 Date  
 JUN 2020



		Engaged <b>H. OAKLEY-WARREN</b>	Checked <b>B. IBBS</b>	Date <b>JUN 2020</b>
10 Dingo Street, Bendigo Victoria 3550 Australia T: 03 5444 2500 G: 03 5444 2505 www.spire.com.au		<b>PRELIMINARY</b> 307310CR204		
<b>GOLDEN GROVE STAGE 3          EUCALYPTUS ST JACKASS FLAT          ROAD &amp; DRAINAGE LAYOUT PLAN          EARTHWORKS PLAN          CITY OF GREATER BENDIGO DS/225/2510 AND AM/804/2011A          WARRINGAL VIEWS P/L</b>				
D. ADJUSTED FS LEVELS A. PRELIMINARY LEVELS	B. I. JUN 2020	B. I. JUN 2020	B. I. JUN 2020	B. JUN 2020



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**PRELIMINARY** 307310CR205 Rev A

Designed: **H. OAKLEY-WARREN**  
Checked: **B. IBBS**  
Approved: **B. IBBS**

Drawn: **B. IBBS**  
Date: **JUN 2020**

**GOLDEN GROVE STAGE 3**  
**EUCALYPTUS ST, JACKASS FLAT**  
ROAD & DRAINAGE LAYOUT PLAN  
EARTHWORKS PLAN  
CITY OF GREATER BENDIGO DS2282010 AND AMF04/2011A  
WARRINGAL VIEWS P/L

Project No: **307310CR205**  
Rev: **A**

Scale: 1:1200  
Scale bar: 0 2.5 5 7.5 10 12.5 METRE

**LEGEND**

- EXCAVATION GREATER THAN 200mm
- FILLING GREATER THAN 200mm
- TOP OF BATTER LEVELS
- FINISHED SURFACE LEVELS AT BOUNDARY
- EXISTING SURFACE LEVELS AT BOUNDARY
- EXISTING SURFACE CONTOUR (MARS)
- CONTIGUOUS SURFACES AT 250mm INTERVALS

NOTE: EXCAVATION AND FILL ARE SUBJECT TO STAGE 3 WORKS ONLY

Approved: \_\_\_\_\_ Date: \_\_\_\_\_  
B. I. JUN 2020

Template Vendor Statement and Documents  
Which may be subject to variations and amendments

**VERTICAL GEOMETRY**

**DESIGN GRADELINE**

STAGE 3	STAGE 2	SKWOP	STAGE 1
517.442	517.442	517.442	517.442
517.442	517.442	517.442	517.442
517.442	517.442	517.442	517.442
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517.442	517.442	517.442	517.442
517.442	517.442	517.442	517.442

**VERTICAL GEOMETRY**

**DESIGN GRADELINE**

**DATUM RL 197.0**

STAGE 3	STAGE 2	SKWOP	STAGE 1
517.442	517.442	517.442	517.442
517.442	517.442	517.442	517.442
517.442	517.442	517.442	517.442
517.442	517.442	517.442	517.442
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517.442	517.442	517.442	517.442
517.442	517.442	517.442	517.442
517.442	517.442	517.442	517.442

**VERTICAL GEOMETRY**

**DESIGN GRADELINE**

**DATUM RL 197.0**

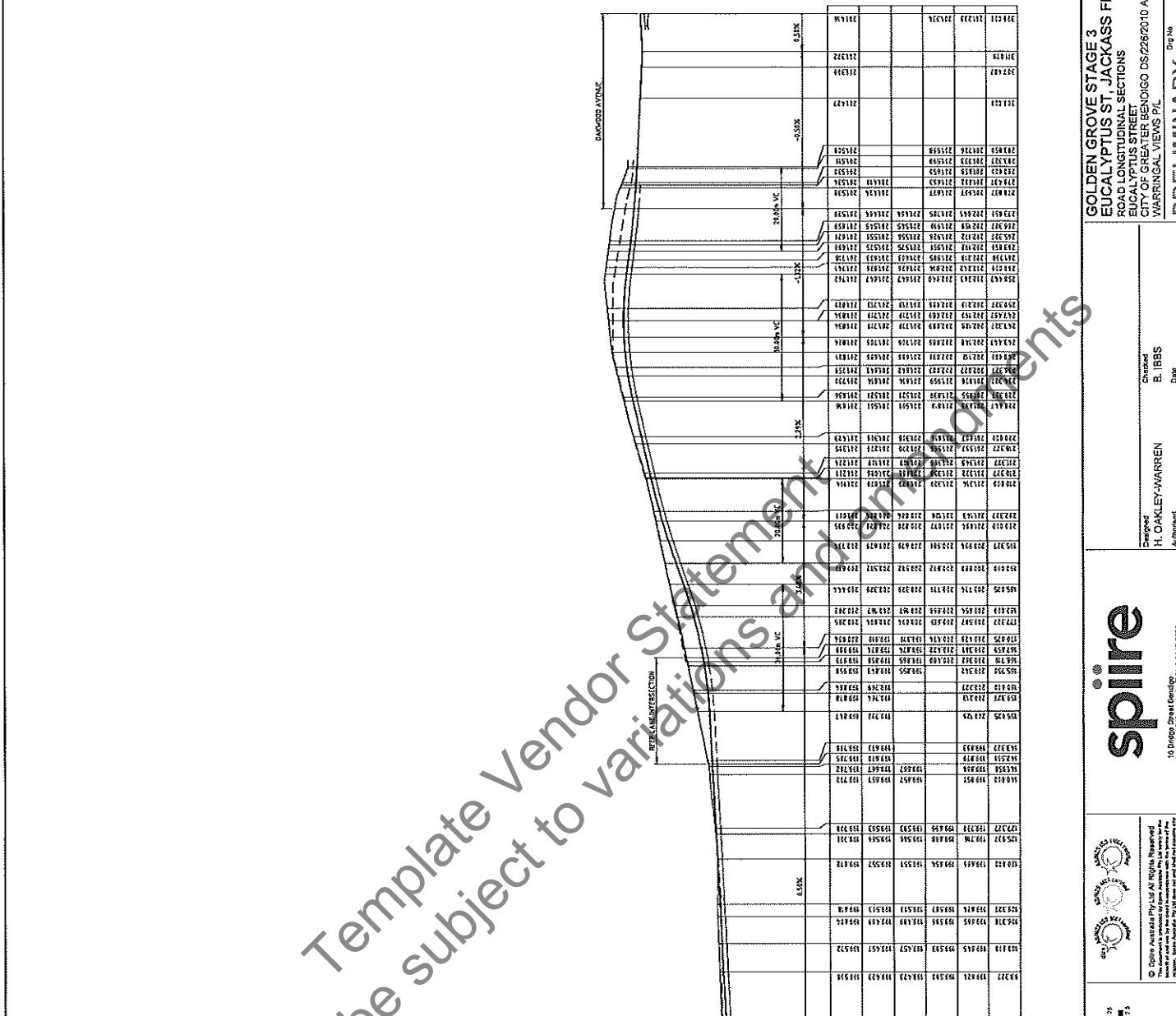
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517.442	517.442	517.442	517.442

**VERTICAL GEOMETRY**

**DESIGN GRADELINE**

**DATUM RL 197.0**

STAGE 3	STAGE 2	SKWOP	STAGE 1
517.442	517.442	517.442	517.442
517.442	517.442	517.442	517.442
517.442	517.442	517.442	517.442
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517.442	517.442	517.442	517.442
517.442	517.442	517.442	517.442
517.442	517.442	517.442	517.442
517.442	517.442	517.442	517.442



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 1900 350 000 655

Approved	Date
H. OAKLEY-WARREN	JUN 2020
B. IBBS	

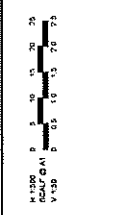
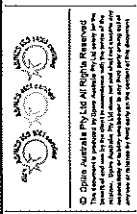
Checked	Date
H. OAKLEY-WARREN	JUN 2020
B. IBBS	

Design  
 Checked  
 H. OAKLEY-WARREN  
 B. IBBS  
 JUN 2020

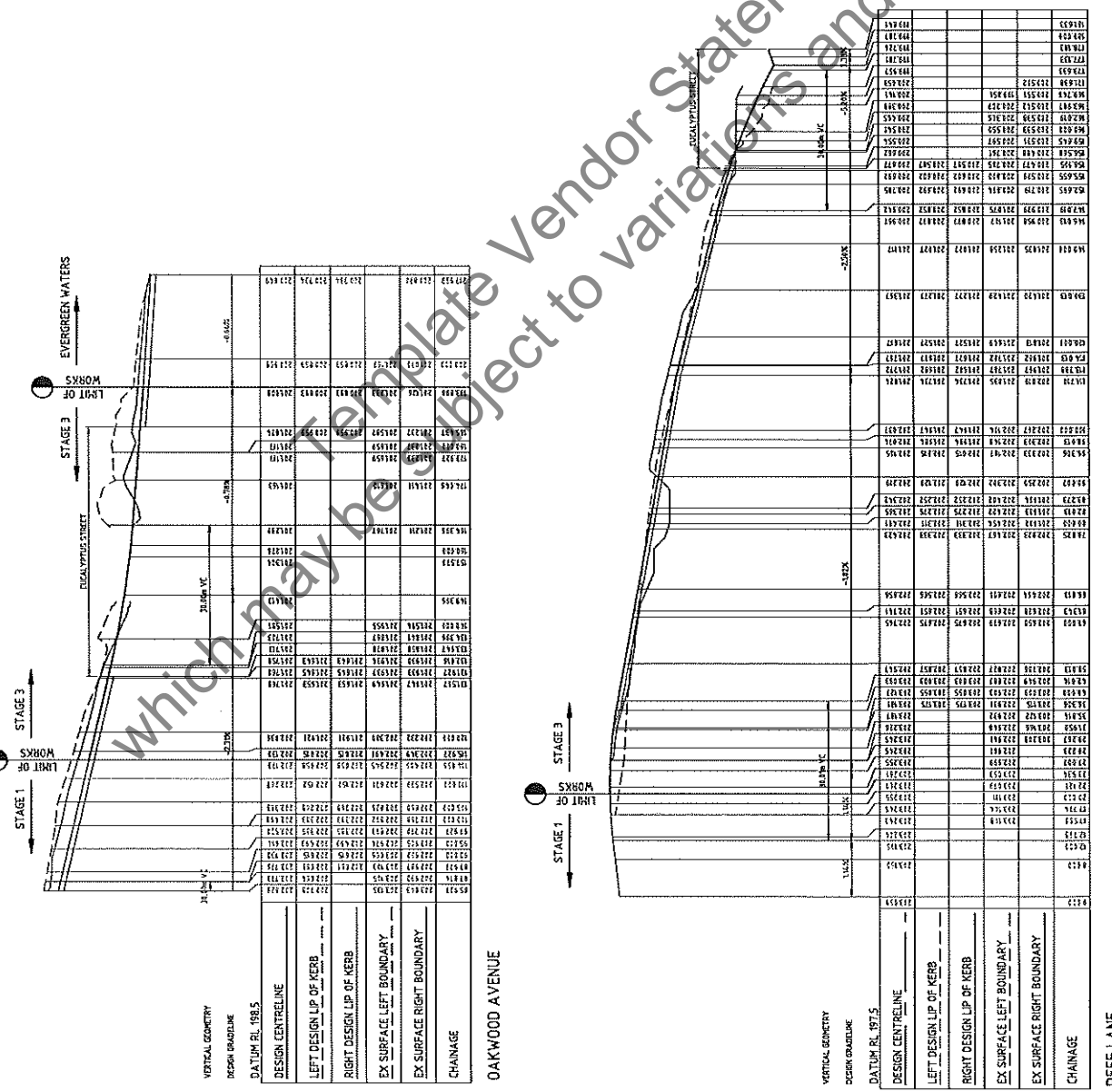
**GOLDEN GROVE STAGE 3**  
**EUCALYPTUS ST. JACKASS FLAT**  
 ROAD LONGITUDINAL SECTIONS  
 EUCALYPTUS STREET  
 CITY OF GREATER BENDIGO  
 WARRINGAL VIEWS P/L

Rev  
 Preliminary 307310CR300  
 A

Designed: H. OAKLEY-WARREN  
 Checked: B. IBBS  
 Date: JUN 2020  
 Approved: B. IBBS



Rev	Description	Date	By	Appr
A	PRELIMINARY ISSUE	01 JUN 2020	B. I.	B. I.



**OAKWOOD AVENUE**

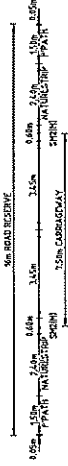
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DESIGN CENTRELINE	154.521	154.521
LEFT DESIGN LIP OF KERB	154.521	154.521
RIGHT DESIGN LIP OF KERB	154.521	154.521
EX SURFACE LEFT BOUNDARY	154.521	154.521
EX SURFACE RIGHT BOUNDARY	154.521	154.521
CHANNAGE	154.521	154.521

**REEF LANE**

VERTICAL GEOMETRY	DESIGN GRADELINE	DATUM RL, 197.5
DESIGN CENTRELINE	41.14	41.14
LEFT DESIGN LIP OF KERB	41.14	41.14
RIGHT DESIGN LIP OF KERB	41.14	41.14
EX SURFACE LEFT BOUNDARY	41.14	41.14
EX SURFACE RIGHT BOUNDARY	41.14	41.14
CHANNAGE	41.14	41.14

Which may be replaced Vendor Statement  
 Subject to variations and amendments





Offset	Existing Surface Level	Design Surface Level
1.80	8.525	8.525
1.50	8.535	8.535
1.20	8.545	8.545
0.90	8.555	8.555
0.60	8.565	8.565
0.30	8.575	8.575
0.00	8.585	8.585
-0.30	8.595	8.595
-0.60	8.605	8.605
-0.90	8.615	8.615
-1.20	8.625	8.625
-1.50	8.635	8.635
-1.80	8.645	8.645

Offset	Existing Surface Level	Design Surface Level
1.80	8.655	8.655
1.50	8.665	8.665
1.20	8.675	8.675
0.90	8.685	8.685
0.60	8.695	8.695
0.30	8.705	8.705
0.00	8.715	8.715
-0.30	8.725	8.725
-0.60	8.735	8.735
-0.90	8.745	8.745
-1.20	8.755	8.755
-1.50	8.765	8.765
-1.80	8.775	8.775

Offset	Existing Surface Level	Design Surface Level
1.80	8.785	8.785
1.50	8.795	8.795
1.20	8.805	8.805
0.90	8.815	8.815
0.60	8.825	8.825
0.30	8.835	8.835
0.00	8.845	8.845
-0.30	8.855	8.855
-0.60	8.865	8.865
-0.90	8.875	8.875
-1.20	8.885	8.885
-1.50	8.895	8.895
-1.80	8.905	8.905

Offset	Existing Surface Level	Design Surface Level
1.80	8.915	8.915
1.50	8.925	8.925
1.20	8.935	8.935
0.90	8.945	8.945
0.60	8.955	8.955
0.30	8.965	8.965
0.00	8.975	8.975
-0.30	8.985	8.985
-0.60	8.995	8.995
-0.90	9.005	9.005
-1.20	9.015	9.015
-1.50	9.025	9.025
-1.80	9.035	9.035

Offset	Existing Surface Level	Design Surface Level
1.80	9.045	9.045
1.50	9.055	9.055
1.20	9.065	9.065
0.90	9.075	9.075
0.60	9.085	9.085
0.30	9.095	9.095
0.00	9.105	9.105
-0.30	9.115	9.115
-0.60	9.125	9.125
-0.90	9.135	9.135
-1.20	9.145	9.145
-1.50	9.155	9.155
-1.80	9.165	9.165

Offset	Existing Surface Level	Design Surface Level
1.80	9.175	9.175
1.50	9.185	9.185
1.20	9.195	9.195
0.90	9.205	9.205
0.60	9.215	9.215
0.30	9.225	9.225
0.00	9.235	9.235
-0.30	9.245	9.245
-0.60	9.255	9.255
-0.90	9.265	9.265
-1.20	9.275	9.277
-1.50	9.285	9.285
-1.80	9.295	9.295

Offset	Existing Surface Level	Design Surface Level
1.80	9.305	9.305
1.50	9.315	9.315
1.20	9.325	9.325
0.90	9.335	9.335
0.60	9.345	9.345
0.30	9.355	9.355
0.00	9.365	9.365
-0.30	9.375	9.375
-0.60	9.385	9.385
-0.90	9.395	9.395
-1.20	9.405	9.405
-1.50	9.415	9.415
-1.80	9.425	9.425

Offset	Existing Surface Level	Design Surface Level
1.80	9.435	9.435
1.50	9.445	9.445
1.20	9.455	9.455
0.90	9.465	9.465
0.60	9.475	9.475
0.30	9.485	9.485
0.00	9.495	9.495
-0.30	9.505	9.505
-0.60	9.515	9.515
-0.90	9.525	9.525
-1.20	9.535	9.535
-1.50	9.545	9.545
-1.80	9.555	9.555

Offset	Existing Surface Level	Design Surface Level
1.80	9.565	9.565
1.50	9.575	9.577
1.20	9.585	9.585
0.90	9.595	9.595
0.60	9.605	9.605
0.30	9.615	9.615
0.00	9.625	9.625
-0.30	9.635	9.635
-0.60	9.645	9.645
-0.90	9.655	9.655
-1.20	9.665	9.665
-1.50	9.675	9.675
-1.80	9.685	9.685

Offset	Existing Surface Level	Design Surface Level
1.80	9.695	9.695
1.50	9.705	9.705
1.20	9.715	9.715
0.90	9.725	9.725
0.60	9.735	9.735
0.30	9.745	9.745
0.00	9.755	9.755
-0.30	9.765	9.765
-0.60	9.775	9.775
-0.90	9.785	9.785
-1.20	9.795	9.795
-1.50	9.805	9.805
-1.80	9.815	9.815

Offset	Existing Surface Level	Design Surface Level
1.80	9.825	9.825
1.50	9.835	9.835
1.20	9.845	9.845
0.90	9.855	9.855
0.60	9.865	9.865
0.30	9.875	9.875
0.00	9.885	9.885
-0.30	9.895	9.895
-0.60	9.905	9.905
-0.90	9.915	9.915
-1.20	9.925	9.925
-1.50	9.935	9.935
-1.80	9.945	9.945

Offset	Existing Surface Level	Design Surface Level
1.80	9.955	9.955
1.50	9.965	9.965
1.20	9.975	9.975
0.90	9.985	9.985
0.60	9.995	9.995
0.30	10.005	10.005
0.00	10.015	10.015
-0.30	10.025	10.025
-0.60	10.035	10.035
-0.90	10.045	10.045
-1.20	10.055	10.055
-1.50	10.065	10.065
-1.80	10.075	10.075

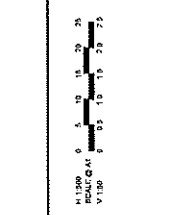
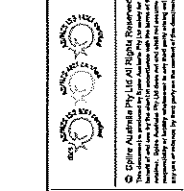
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1.80	10.085	10.085
1.50	10.095	10.095
1.20	10.105	10.105
0.90	10.115	10.115
0.60	10.125	10.125
0.30	10.135	10.135
0.00	10.145	10.145
-0.30	10.155	10.155
-0.60	10.165	10.165
-0.90	10.175	10.175
-1.20	10.185	10.185
-1.50	10.195	10.195
-1.80	10.205	10.205

Offset	Existing Surface Level	Design Surface Level
1.80	10.215	10.215
1.50	10.225	10.225
1.20	10.235	10.235
0.90	10.245	10.245
0.60	10.255	10.255
0.30	10.265	10.265
0.00	10.275	10.275
-0.30	10.285	10.285
-0.60	10.295	10.295
-0.90	10.305	10.305
-1.20	10.315	10.315
-1.50	10.325	10.325
-1.80	10.335	10.335

**GOLDEN GROVE STAGE 3  
EUCALYPTUS ST. JACKASS FLAT**  
ROAD CROSS SECTIONS  
EUCALYPTUS STREET  
CITY OF GREATER BENDIGO  
WARRINGAL VIEWS P/L

Rev	Amendment	Date	By
A	PRELIMINARY ISSUE	JUN 2020	B. IBBS

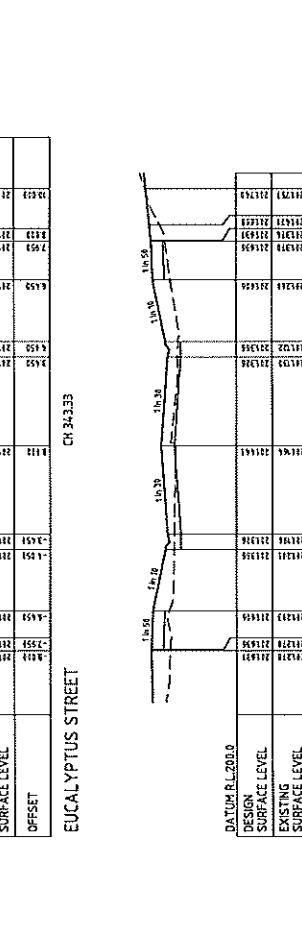
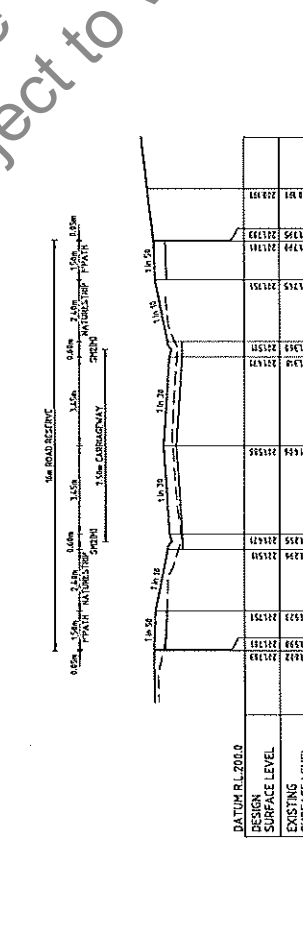
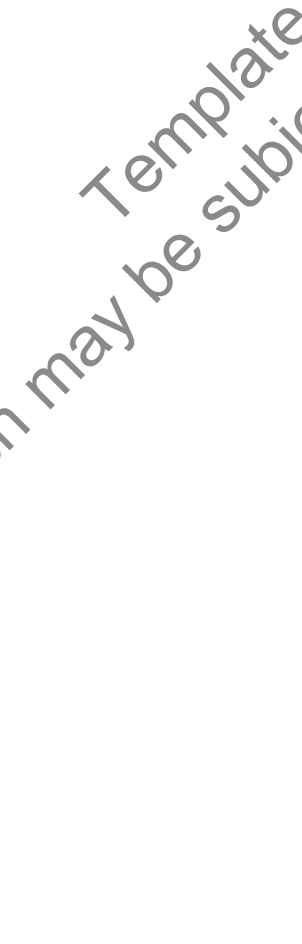
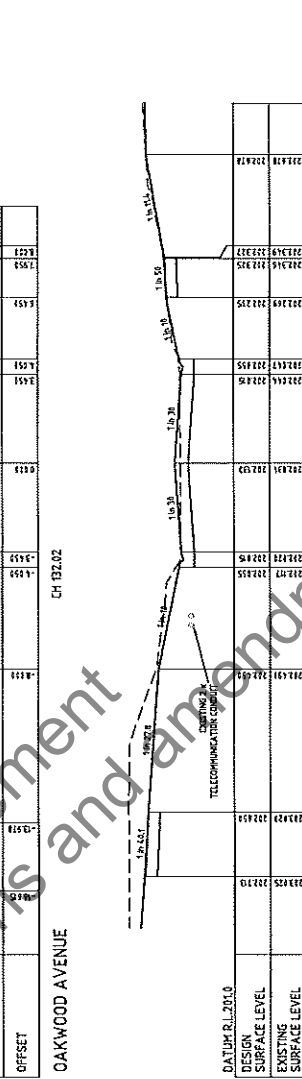
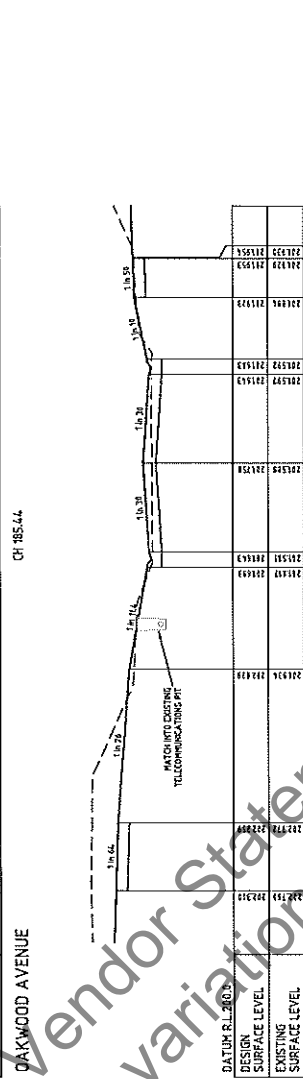
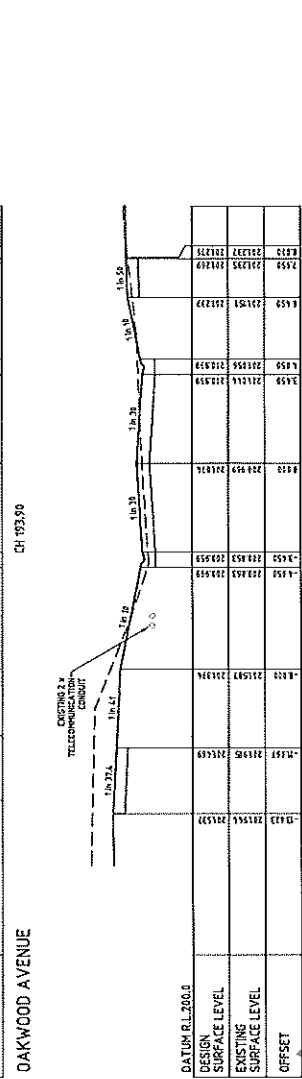
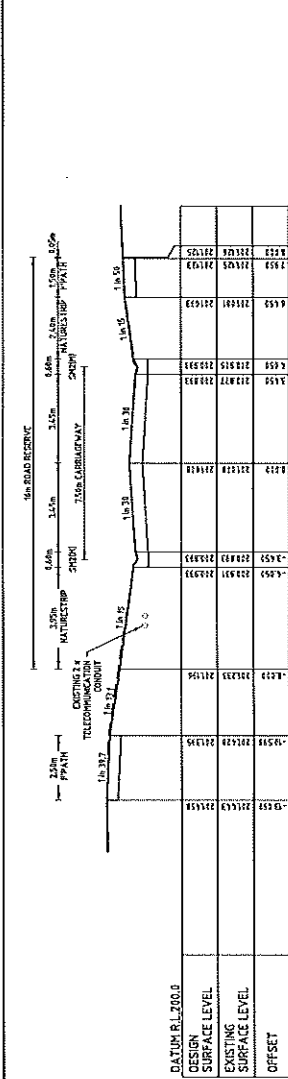
Checked: B. IBBS  
Designed: H. OAKLEY-WARREN  
Approved: B. IBBS  
Date: JUN 2020



1:1500  
SCALE AT  
V:150

Which may be subject to variations and amendments

Template Vendor Statement  
which may be subject to variations and amendments



**spire**  
10 Dingle Street, Dingle  
Victoria 3208 Australia T 61 8 9444 2909  
spire@spire.com.au

**PRELIMINARY** 307310CR401 A

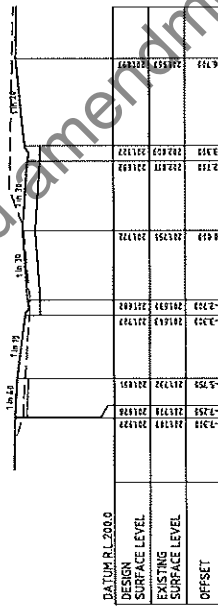
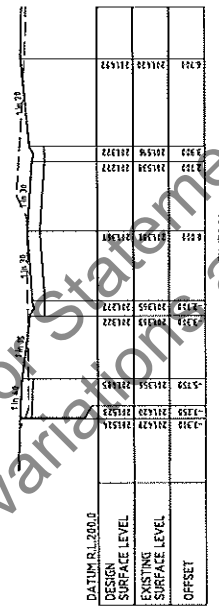
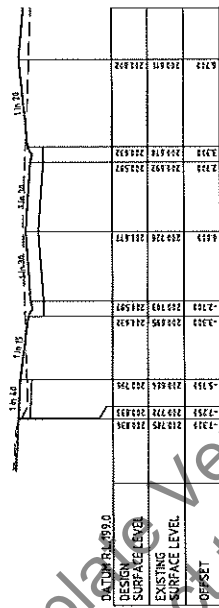
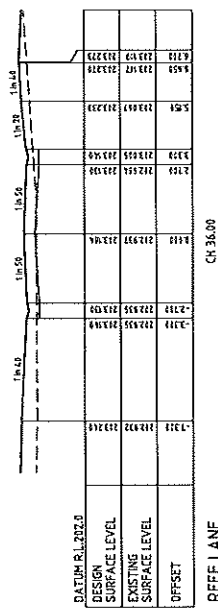
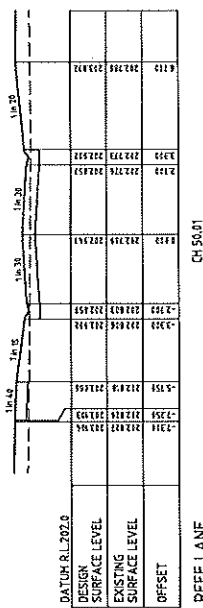
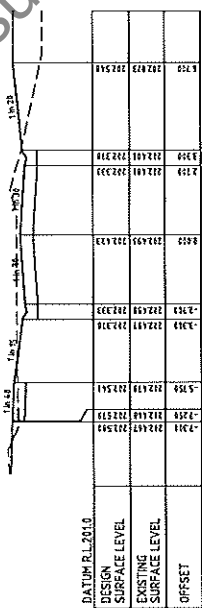
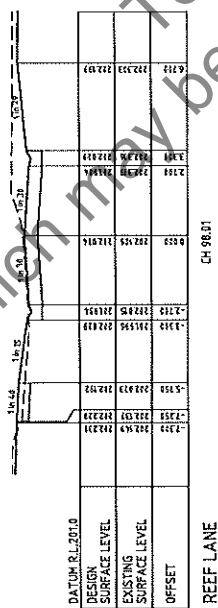
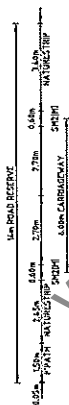
Project: **GOLDEN GROVE STAGE 3**  
**EUCALYPTUS ST, JACKASS FLAT**  
 ROAD CROSS SECTIONS  
 EUCALYPTUS ST & OAKWOOD AVE  
 CITY OF GREATER BENDIGO DS/228/2010 AND AM/804/2011A  
 WARRINGAL VIEWS P/L

Drawn: H. OAKLEY-WARREN  
 Checked: B. IBBS  
 Date: JUN 2020

1:1000  
HORIZONTAL SCALE  
1:100  
VERTICAL SCALE

DATE: JUN 2020

APPROVED: \_\_\_\_\_  
 PRELIMINARY ISSUE



Which may be subject to variation and amendments



10 Bridge Street, Deception Bay, Victoria 3500, Australia T +61 3 4412 2000  
spire.com.au

**PRELIMINARY** Draw No: 307310CR402 Rev: A

Designed: H. OAKLEY-WARREN  
Checked: B. IBBS  
Approved: B. IBBS  
Date: JUN 2020

1:100  
ROAD @ 1  
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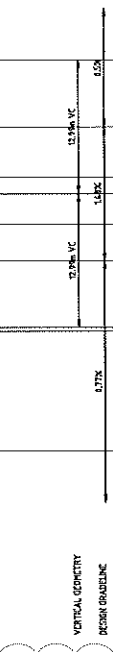


Rev	Amendment	Approved	Date
A	PRELIMINARY ISSUE	B. I.	JUN 2020

GOLDEN GROVE STAGE 3  
EUCALYPTUS ST. JACKASS FLAT  
ROAD CROSS SECTIONS  
REEF LANE  
CITY OF GREATER BENDIGO DS/2262010 AND AM/9042011A  
WARRINGAL VIEWS P/L

ALIGNMENT K

POINT NO	EASTING	NORTHING	REL
K1	257711.24	257711.24	257711.24
K2	257711.24	257711.24	257711.24
K3	257711.24	257711.24	257711.24
K4	257711.24	257711.24	257711.24
K5	257711.24	257711.24	257711.24
K6	257711.24	257711.24	257711.24
K7	257711.24	257711.24	257711.24
K8	257711.24	257711.24	257711.24
K9	257711.24	257711.24	257711.24
K10	257711.24	257711.24	257711.24



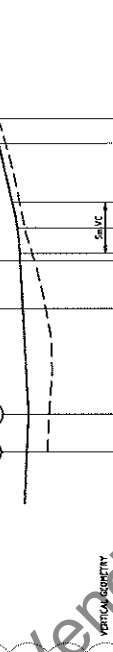
POINT NO	EASTING	NORTHING	REL
K1	257711.24	257711.24	257711.24
K2	257711.24	257711.24	257711.24
K3	257711.24	257711.24	257711.24
K4	257711.24	257711.24	257711.24
K5	257711.24	257711.24	257711.24
K6	257711.24	257711.24	257711.24
K7	257711.24	257711.24	257711.24
K8	257711.24	257711.24	257711.24
K9	257711.24	257711.24	257711.24
K10	257711.24	257711.24	257711.24

VERTICAL GEOMETRY  
DESIGN GRADELINE  
DATUM RL 199.0  
DESIGN LEVEL  
CHAINAGE  
KERB K



ALIGNMENT L

POINT NO	EASTING	NORTHING	REL
L1	257711.24	257711.24	257711.24
L2	257711.24	257711.24	257711.24
L3	257711.24	257711.24	257711.24
L4	257711.24	257711.24	257711.24
L5	257711.24	257711.24	257711.24
L6	257711.24	257711.24	257711.24
L7	257711.24	257711.24	257711.24
L8	257711.24	257711.24	257711.24
L9	257711.24	257711.24	257711.24
L10	257711.24	257711.24	257711.24



POINT NO	EASTING	NORTHING	REL
L1	257711.24	257711.24	257711.24
L2	257711.24	257711.24	257711.24
L3	257711.24	257711.24	257711.24
L4	257711.24	257711.24	257711.24
L5	257711.24	257711.24	257711.24
L6	257711.24	257711.24	257711.24
L7	257711.24	257711.24	257711.24
L8	257711.24	257711.24	257711.24
L9	257711.24	257711.24	257711.24
L10	257711.24	257711.24	257711.24

VERTICAL GEOMETRY  
DESIGN GRADELINE  
DATUM RL 200.0  
DESIGN LEVEL  
CHAINAGE  
KERB L



ALIGNMENT H

POINT NO	EASTING	NORTHING	REL
H1	257711.24	257711.24	257711.24
H2	257711.24	257711.24	257711.24
H3	257711.24	257711.24	257711.24
H4	257711.24	257711.24	257711.24
H5	257711.24	257711.24	257711.24
H6	257711.24	257711.24	257711.24
H7	257711.24	257711.24	257711.24
H8	257711.24	257711.24	257711.24
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H10	257711.24	257711.24	257711.24



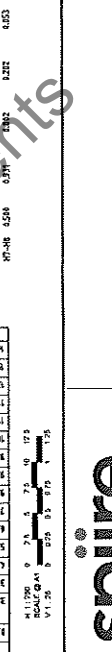
POINT NO	EASTING	NORTHING	REL
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H4	257711.24	257711.24	257711.24
H5	257711.24	257711.24	257711.24
H6	257711.24	257711.24	257711.24
H7	257711.24	257711.24	257711.24
H8	257711.24	257711.24	257711.24
H9	257711.24	257711.24	257711.24
H10	257711.24	257711.24	257711.24

VERTICAL GEOMETRY  
DESIGN GRADELINE  
DATUM RL 199.0  
DESIGN LEVEL  
CHAINAGE  
KERB H



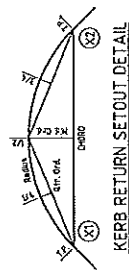
ALIGNMENT G

POINT NO	EASTING	NORTHING	REL
G1	257711.24	257711.24	257711.24
G2	257711.24	257711.24	257711.24
G3	257711.24	257711.24	257711.24
G4	257711.24	257711.24	257711.24
G5	257711.24	257711.24	257711.24
G6	257711.24	257711.24	257711.24
G7	257711.24	257711.24	257711.24
G8	257711.24	257711.24	257711.24
G9	257711.24	257711.24	257711.24
G10	257711.24	257711.24	257711.24



POINT NO	EASTING	NORTHING	REL
G1	257711.24	257711.24	257711.24
G2	257711.24	257711.24	257711.24
G3	257711.24	257711.24	257711.24
G4	257711.24	257711.24	257711.24
G5	257711.24	257711.24	257711.24
G6	257711.24	257711.24	257711.24
G7	257711.24	257711.24	257711.24
G8	257711.24	257711.24	257711.24
G9	257711.24	257711.24	257711.24
G10	257711.24	257711.24	257711.24

VERTICAL GEOMETRY  
DESIGN GRADELINE  
DATUM RL 200.0  
DESIGN LEVEL  
CHAINAGE  
KERB G



GOLDEN GROVE STAGE 3  
EUCALYPTUS ST, JACKASS FLAT  
INTERSECTION DETAILS  
EUCALYPTUS ST & OAKWOOD AVE  
CITY OF GREATER BENDIGO DS225/2010 AND AMRD4/2011A  
WARRINGAL VIEWS P/L

Drawn: H. OAKLEY-WARREN  
Checked: B. IBBS  
Date: JUN 2020

Project: 307310CR500  
Rev: B

spire  
16 Bridge Street Bendigo  
Victoria 3550 Australia T: 03 5442 2000  
enquiries@spire.com.au AIN: 51 085 021 043

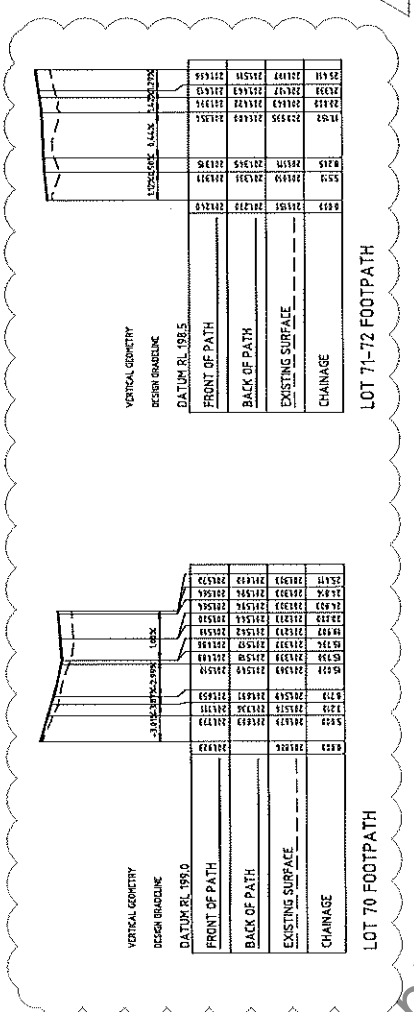
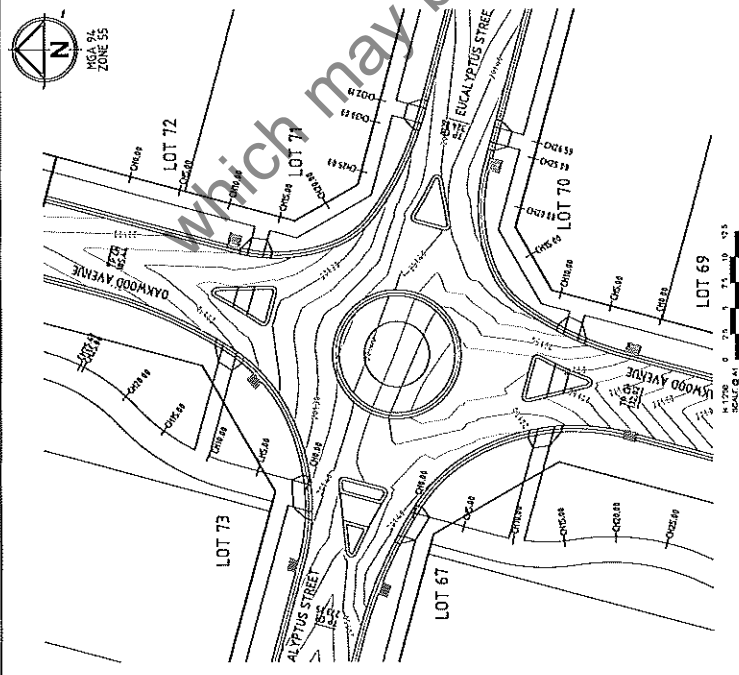
AS SHOWN

Rev	Approved	Date
A		JUN 2020
B		JUN 2020

AMENDED FOOTPATH CROSSING LOCATION ON OAKWOOD AVE  
PRELIMINARY DESIGN







VERTICAL GEOMETRY  
DESIGN GRADIENT

DATUM RL 198.0

FRONT OF PATH	62818.02	62819.02	62820.02	62821.02	62822.02	62823.02	62824.02	62825.02	62826.02	62827.02	62828.02	62829.02	62830.02
BACK OF PATH	62818.02	62819.02	62820.02	62821.02	62822.02	62823.02	62824.02	62825.02	62826.02	62827.02	62828.02	62829.02	62830.02
EXISTING SURFACE	62818.02	62819.02	62820.02	62821.02	62822.02	62823.02	62824.02	62825.02	62826.02	62827.02	62828.02	62829.02	62830.02

CHAINAGE

LOT 70 FOOTPATH

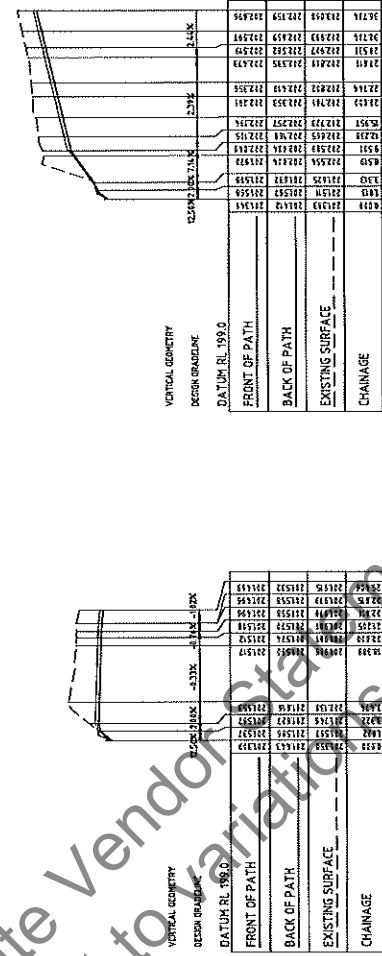
VERTICAL GEOMETRY  
DESIGN GRADIENT

DATUM RL 198.5

FRONT OF PATH	61818.02	61819.02	61820.02	61821.02	61822.02	61823.02	61824.02	61825.02	61826.02	61827.02	61828.02	61829.02	61830.02
BACK OF PATH	61818.02	61819.02	61820.02	61821.02	61822.02	61823.02	61824.02	61825.02	61826.02	61827.02	61828.02	61829.02	61830.02
EXISTING SURFACE	61818.02	61819.02	61820.02	61821.02	61822.02	61823.02	61824.02	61825.02	61826.02	61827.02	61828.02	61829.02	61830.02

CHAINAGE

LOT 72 FOOTPATH



VERTICAL GEOMETRY  
DESIGN GRADIENT

DATUM RL 198.0

FRONT OF PATH	63318.02	63319.02	63320.02	63321.02	63322.02	63323.02	63324.02	63325.02	63326.02	63327.02	63328.02	63329.02	63330.02
BACK OF PATH	63318.02	63319.02	63320.02	63321.02	63322.02	63323.02	63324.02	63325.02	63326.02	63327.02	63328.02	63329.02	63330.02
EXISTING SURFACE	63318.02	63319.02	63320.02	63321.02	63322.02	63323.02	63324.02	63325.02	63326.02	63327.02	63328.02	63329.02	63330.02

CHAINAGE

RESERVE No 1 FOOTPATH (ADJACENT LOT 73)

VERTICAL GEOMETRY  
DESIGN GRADIENT

DATUM RL 198.0

FRONT OF PATH	64318.02	64319.02	64320.02	64321.02	64322.02	64323.02	64324.02	64325.02	64326.02	64327.02	64328.02	64329.02	64330.02
BACK OF PATH	64318.02	64319.02	64320.02	64321.02	64322.02	64323.02	64324.02	64325.02	64326.02	64327.02	64328.02	64329.02	64330.02
EXISTING SURFACE	64318.02	64319.02	64320.02	64321.02	64322.02	64323.02	64324.02	64325.02	64326.02	64327.02	64328.02	64329.02	64330.02

CHAINAGE

RESERVE No 2 FOOTPATH (ADJACENT LOT 67)

16 Dudgeon Street, Perth  
Western Australia 6150  
spire.com.au

DATE: JUN 2020

REVISED FOOTPATH VERTICAL ALIGNMENT

PRELIMINARY (SCALE)

DATE: JUN 2020

DATE: JUN 2020

**spire**

16 Dudgeon Street, Perth  
Western Australia 6150  
spire.com.au

DATE: JUN 2020

DATE: JUN 2020

DATE: JUN 2020

DATE: JUN 2020

DATE: JUN 2020

DATE: JUN 2020

Template Vendor Statement  
 which may be subject to variations and amendments

**PRELIMINARY**

307310CR503

**GOLDEN GROVE STAGE 3**  
**EUCALYPTUS ST. JACKASS FLAT**  
 INTERSECTION DETAILS  
 FOOTPATH LONG SECTIONS  
 CITY OF GREATER BENEDIGO  
 WARRINGAL VIEWS P/L

Design No 307310CR503

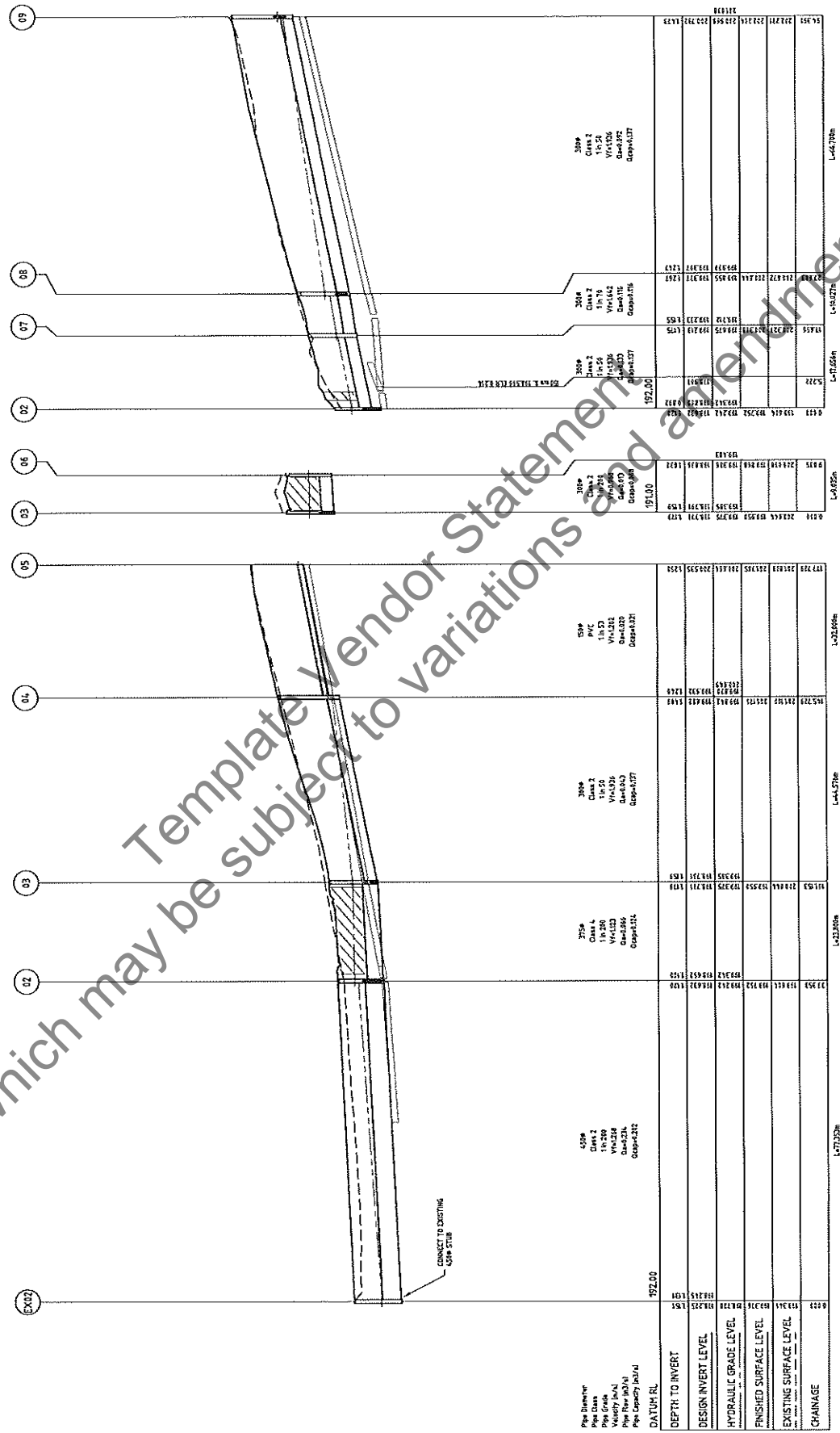
**PRELIMINARY**

307310CR503



FCR BACKFILL

Template Vendor Statement and amendments  
which may be subject to variations



**Golden Grove Stage 3**  
Eucalyptus St. Jackass Flat  
Drainage Long Sections

CITY OF GREATER BENDIGO DS/226/2010 AND AM/504/2011A  
WARRINGAL VIEWS P/L

PRELIMINARY DATE JUN 2020 REV A

Designed: H. OAKLEY-WARREN  
Checked: B. IBBS  
Approved: B. IBBS

10 Dirigo Drive Bendigo  
Victoria 3650 Australia  
spire.com.au

spire

1:100  
ROAD GRADE  
V:1:50

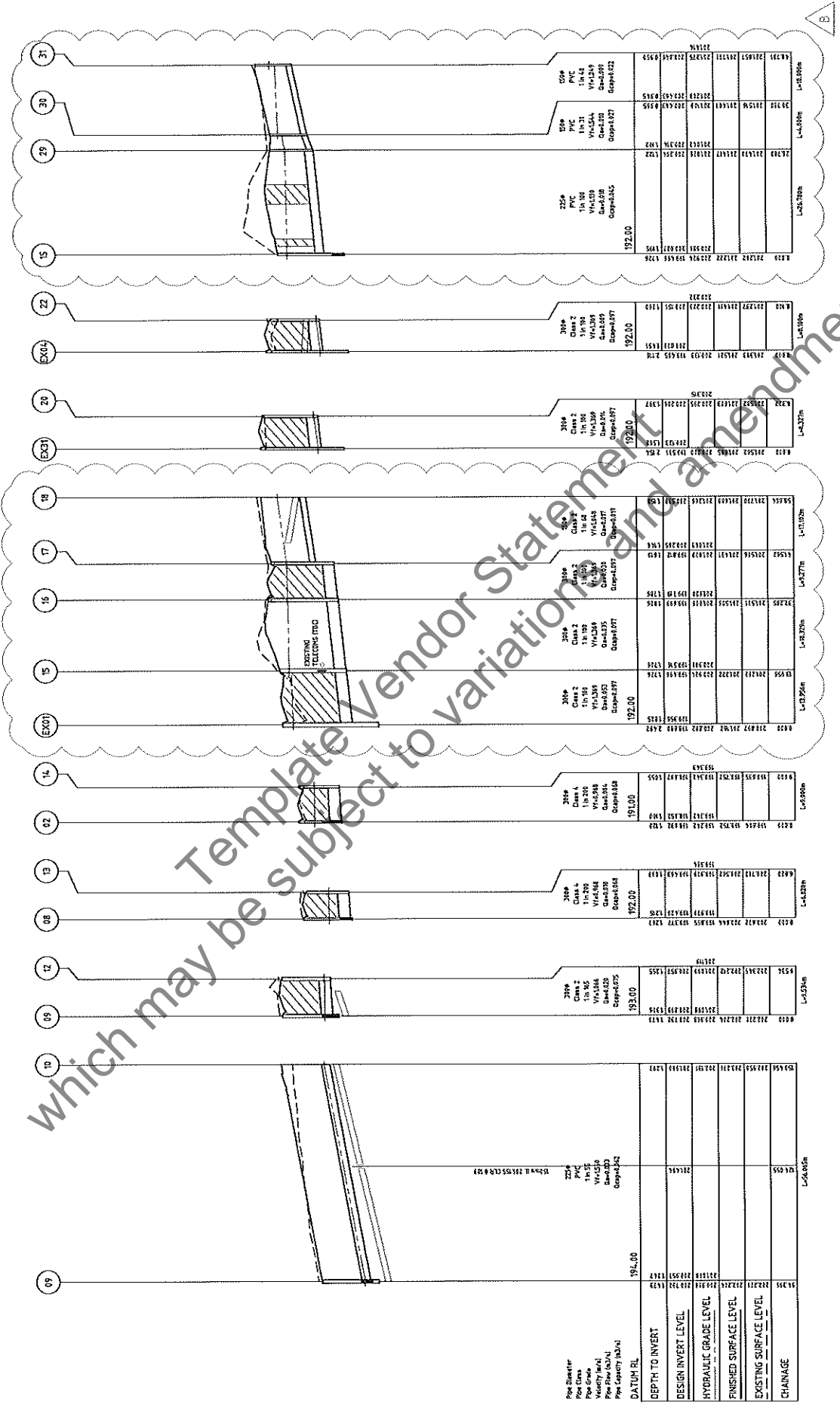
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DATE: JUN-2020  
APPROVED: B. I.  
DATE:





FCR BACKFILL



Template Vendor Statement and amendments  
which may be subject to variations and amendments

**GOLDEN GROVE STAGE 3**  
**EUCALYPTUS ST JACKASS FLAT**  
DRAINAGE LONG SECTIONS

CITY OF GREATER BENDIGO DS/226/2010 AND AM/904/2011A  
WARFINGAL VIEWS P/L

Drawn: **PRELIMINARY 307310CR601**  
Rev: **B**

Checked: **B. IBBS**  
Date: **JUN. 2020**

Designed: **H. OAKLEY-WARREN**  
Approved: **B. IBBS**

13 Bigga Street Bendigo  
VIC 3600 Australia T: 61 3 5448 2500  
spire.com.au ABN 59 009 002 004

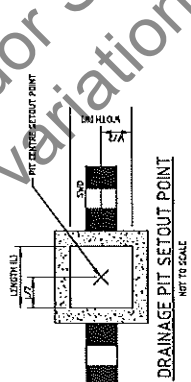
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Rev	Amendment	Date
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B.1.		JUN 2020

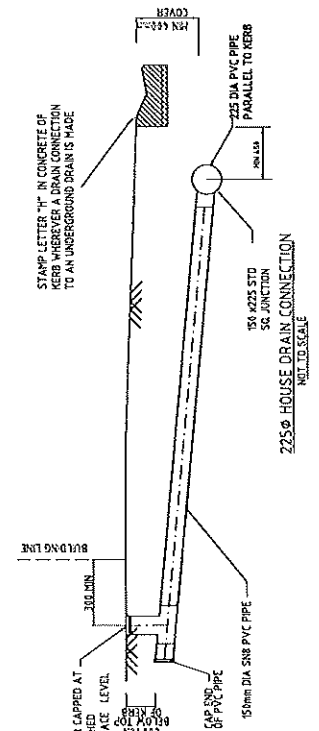
**DRAINAGE PIT SCHEDULE**

PIT NAME	PIT TYPE	WIDTH	LENGTH	INLET DIA	INLET INV LEVEL	OUTLET DIA	OUTLET INV LEVEL	PIT FS	DEPTH	REMARKS
01	EXISTING	800	000	450	108.243	450	108.243	108.278	1.135	CONCRETE PIT AS DIM. SD. 440.
02	SIDE ENTRY PIT	800	000	450	108.678	450	108.632	108.752	1.120	CONCRETE PIT AS DIM. SD. 440.
03	SOLE ENTRY PIT	600	000	300	108.687	300	108.771	108.950	1.170	REFER DIM. SD. 440.
04	SOLE ENTRY PIT	600	000	300	108.791	300	108.882	109.158	1.400	REFER DIM. SD. 440.
05	SOLE ENTRY PIT	600	000	300	108.837	300	108.932	109.212	1.300	REFER DIM. SD. 440.
06	SACTION PIT	600	000	300	108.830	300	108.830	109.080	1.050	REFER DIM. SD. 481.
07	SACTION PIT	600	000	300	108.813	300	108.813	109.060	1.020	REFER DIM. SD. 481.
08	SOLE ENTRY PIT	600	000	300	108.397	300	108.377	108.644	1.207	REFER DIM. SD. 480.
09	SOLE ENTRY PIT	600	000	300	108.429	300	108.397	108.664	1.207	REFER DIM. SD. 480.
10	ENTRANCE	0	0	300	108.860	225	108.860	109.278	1.297	REFER DIM. SD. 481.
11	GRAVED ENTRY PIT	600	000	300	108.719	300	108.657	108.925	1.255	REFER DIM. SD. 481.
12	GRAVED ENTRY PIT	600	000	300	108.483	300	108.483	108.750	1.035	REFER DIM. SD. 481.
13	GRAVED ENTRY PIT	600	000	300	108.457	300	108.457	108.724	1.035	REFER DIM. SD. 481.
14	GRAVED ENTRY PIT	600	000	300	108.457	300	108.457	108.724	1.035	REFER DIM. SD. 481.
15	SACTION PIT	600	000	300	108.316	300	108.316	108.583	0.900	REFER DIM. SD. 420.
16	SOLE ENTRY PIT	600	000	300	108.719	300	108.657	108.925	1.255	REFER DIM. SD. 440.
17	SOLE ENTRY PIT	600	000	300	108.265	300	108.312	108.580	1.150	REFER DIM. SD. 440.
18	EXISTING	600	000	300	108.123	300	108.123	108.390	0.900	REFER DIM. SD. 440.
19	GRAVED ENTRY PIT	600	000	300	108.077	300	108.077	108.344	0.900	REFER DIM. SD. 440.
20	GRAVED ENTRY PIT	600	000	300	108.077	300	108.077	108.344	0.900	REFER DIM. SD. 440.
21	GRAVED ENTRY PIT	600	000	300	108.077	300	108.077	108.344	0.900	REFER DIM. SD. 440.
22	GRAVED ENTRY PIT	600	000	300	108.077	300	108.077	108.344	0.900	REFER DIM. SD. 440.
23	GRAVED ENTRY PIT	600	000	300	108.077	300	108.077	108.344	0.900	REFER DIM. SD. 440.
24	GRAVED ENTRY PIT	600	000	300	108.077	300	108.077	108.344	0.900	REFER DIM. SD. 440.
25	GRAVED ENTRY PIT	600	000	300	108.077	300	108.077	108.344	0.900	REFER DIM. SD. 440.
26	GRAVED ENTRY PIT	600	000	300	108.077	300	108.077	108.344	0.900	REFER DIM. SD. 440.
27	GRAVED ENTRY PIT	600	000	300	108.077	300	108.077	108.344	0.900	REFER DIM. SD. 440.
28	GRAVED ENTRY PIT	600	000	300	108.077	300	108.077	108.344	0.900	REFER DIM. SD. 440.
29	GRAVED ENTRY PIT	600	000	300	108.077	300	108.077	108.344	0.900	REFER DIM. SD. 440.
30	GRAVED ENTRY PIT	600	000	300	108.077	300	108.077	108.344	0.900	REFER DIM. SD. 440.
31	GRAVED ENTRY PIT	600	000	300	108.077	300	108.077	108.344	0.900	REFER DIM. SD. 440.

NOTE:  
 \* ALL PITS IN DIMS REFERRED TO BE FITTED WITH UNBED CLASS B REINFORCED LIDS.  
 \* PITS LID, LID, LEGS, LID & LID TO BE COMPLETED AS PART OF STAGE 3 WORK.

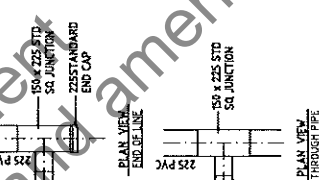


PIT NUMBER	EASTINGS	NORTHINGS
16	553262.270	533770.731
21	553348.337	533770.731



**DRAINAGE NOTES**

- ALL DRAINAGE PIPES & FITS ARE TO BE AT 1% SLOPE TO PROPERTY BOUNDARIES UNLESS SHOWN OTHERWISE.
- THE DRAINAGE PIPES ARE TO BE INSTALLED IN TYPICAL LAYERS AND CONSIDERED.
- CONNECTIONS TO EXISTING PIPES ARE TO BE MADE IN ACCORDANCE WITH THE RELEVANT STANDARDS.
- ALL SOLE ENTRY PITS IN BELLEVUE ROAD & CHANNEL ARE TO BE CONSTRUCTED USING AN APPROVED ROLLER TYPE LID OR A COMPARED ROLLER TYPE LID. STANDARD SQUARE PEOPLE PIT LIDS WITHOUT LIDS ARE NOT ACCEPTABLE.
- REINFORCEMENT WITHIN PIPES OR BOTTOM RINGS ARE TO BE ENCASED WITH THE CONCRETE STABILISED CLASS 1/2 FIBRE. THE FIBRE IS TO BE ENCASED IN TYPICAL LAYERS AND CONSIDERED.
- ALL PVC STUDIES ARE TO CONSIST OF ONE FULL PIPE LENGTH UNLESS SHOWN OTHERWISE.
- FRIGID LEVELS FOR SIDE ENTRY PITS MUST BE DETERMINED FROM KERS LEVELS AND SHOULD BE SLIPPED TO SURFACE LEVELS BY THE USE OF GRATES OR STEPS.
- STEP RINGS ARE NOT REQUIRED IN DRAINAGE PITS.
- CONCRETE PIPES ARE TO BE CLASS 2 1/2 RPP AND PVC PIPES ARE TO BE CLASS 200 UNLESS OTHERWISE NOTED.
- ALL CONNECTIONS FOR DRAINAGE WORK ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE VICTORIAN WORK COVER AUTHORITY.
- REINFORCEMENT BARS SHALL COMPLY WITH AS4771, GRADE 4771, GRADE 4771. LAPS IN REINFORCEMENT BARS SHALL BE 200mm AND CLEAR LAPS OF 100mm.
- CONCRETE SHALL BE NORMAL CLASS 400 STANDARD STRENGTH GRADE OR HIGHER. COMPLYING WITH THE REQUIREMENTS OF AS3700.
- REINFORCEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RELEVANT PROVISIONS OF AS3700.
- DIRECT CONNECTIONS OF PVC HOUSE DRAIN TO RPP DRAINAGE TO BE CONSTRUCTED WITH 'CONDUIT' OR APPROVED EQUIVALENT FITTING. SOME PVC PIPES ARE NOT TO BE DIRECTLY CONNECTED TO CONCRETE OR MASONRY. WHERE A DIRECT CONNECTION IS REQUIRED, THE USE OF AN APPROVED CONNECTION FITTING IS PRACTICAL. A MINIMUM CONNECTION PIPE SHALL BE USED.
- WHERE PVC HOUSE CONNECTIONS ARE MADE DIRECTLY TO PIPES, THE HOUSE CONNECTION IS TO BE MADE TO SURFACE LEVEL WITHIN THE PROPERTY AND CAPPED AS PER CODES.
- CONNECTION REQUIREMENTS - ANY ABOVE GROUND WORK IN A CONCRETE ASSET (E.G. FOOTPATH OR ROAD) IS REQUIRED TO BE PER-ALTERNATIVELY OTHER FULL MATERIAL CAN BE USED PROVIDED COMPACTION TESTS ARE CARRIED OUT TO OBTAIN 95% COMPACTION IS ADVISED. TESTS TO BE CARRIED OUT AT A MINIMUM OF 100mm OF FRESH.



**spire**  
 10 Bridge Street Bendigo  
 Victoria 3500 Australia T 013 9440 2000  
 spire.com.au

Designed: H. OAKLEY-WARREN  
 Checked: B. IBBS  
 Approved: B. IBBS  
 Date: JUN 2020

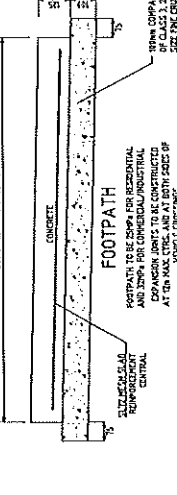
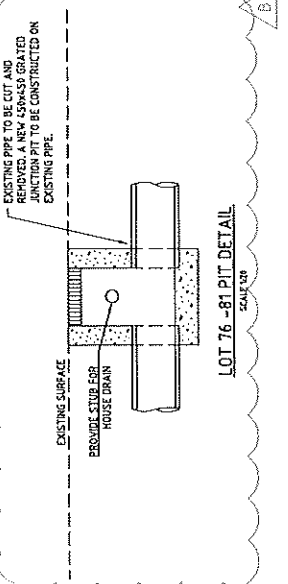
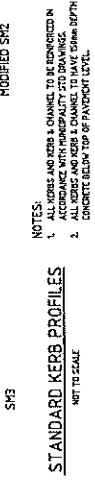
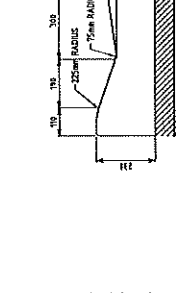
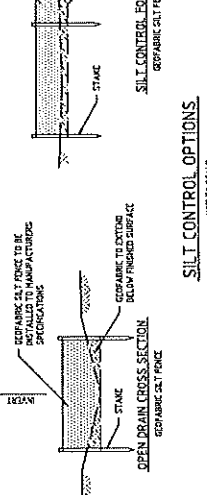
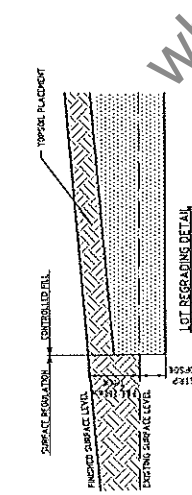
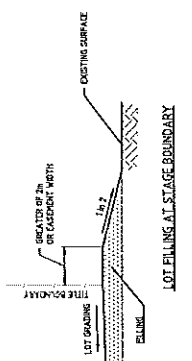
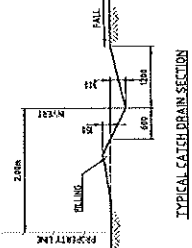
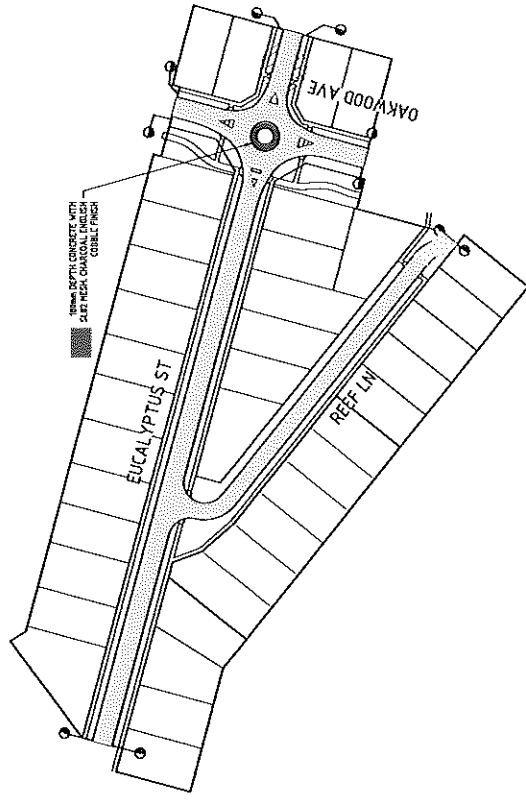
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Rev	Description	Date
D	ADDED PITS TO PIT SCHEDULE	JUN 2020
A	PRELIMINARY ISSUE	JUN 2020

Rev	Description	Date
B	PRELIMINARY	JUN 2020

**GOLDEN GROVE STAGE 3**  
**EUCALYPTUS ST. JACKASS FLAT**  
 DRAINAGE LONG SECTIONS  
 DRAINAGE PIT SCHEDULE  
 CITY OF GREATER BENDIGO DS/228/2010 AND AM/804/2011A  
 WARRINGAL VIEWS P/L

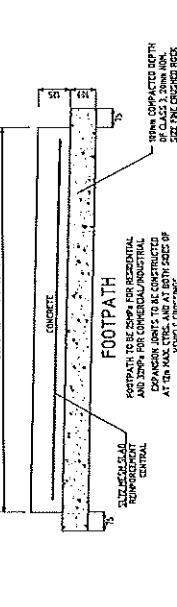
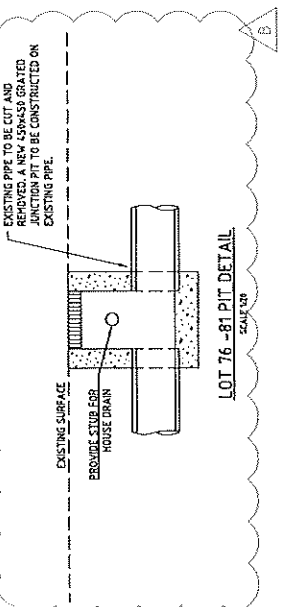
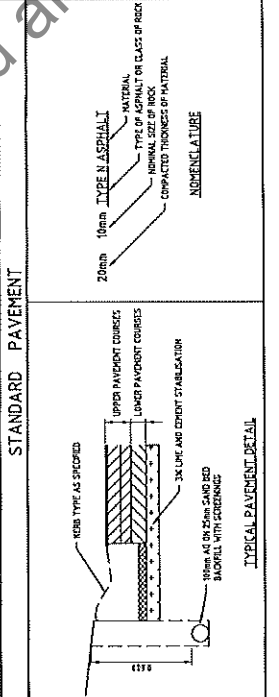
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 Rev: B



PAVEMENT LAYER	DESCRIPTION	DEPTH (mm)	
		A	B
ASPHALT WEAR/DRIVE COURSE	CONCRETE CORE FOR BS 5911	75	0
BASE COURSE	CLASS 2 30MM NOMINAL SIZE GRANULAR SUB-BASE	75	0
CONCRETE	30MM NOMINAL SIZE GRANULAR SUB-BASE	100	0
		75	10
TOTAL PAVEMENT TOTAL			
SURFACE	CLASS 2 30MM NOMINAL SIZE GRANULAR SUB-BASE	75	0
BASE	CLASS 2 30MM NOMINAL SIZE GRANULAR SUB-BASE	75	0
DRIVE	CLASS 2 30MM NOMINAL SIZE GRANULAR SUB-BASE	75	0
TOTAL PAVEMENT DEPTH			
STABILISATION	150MM COMPACTED DEPTH OF CLASS 3	150	0
		150	0

ROAD NAME	TYPE
EUCALYPTUS STREET	A
OAKWOOD AVENUE	A
LOT 76	A
LOT 81	B

**PAVEMENT DETAILS**  
THE PAVEMENT DESIGN SHALL BE AS SHOWN PROVIDED BY CVS WHO ARE RESPONSIBLE FOR THE GEOTECHNICAL WORK ON THIS PROJECT. SPIRE IS NOT RESPONSIBLE FOR THE WORK OF CVS.  
THIS DESIGN HAS BEEN DEVELOPED FROM THE 16.4M BOSTON 'EUCALYPTUS FLAT' AND THE 4.4M BOSTON 'OAKWOOD PARK STAGE 3'. THESE DOCUMENTS SHOULD BE REFERRED TO ENSURE THAT THE DESIGN HAS BEEN ADAPTIVELY REFINED.  
A COPY OF THIS DESIGN SHALL BE PROVIDED ON REQUEST.  
SPIRE DOES NOT ACCEPT ANY RESPONSIBILITY FOR THE ACCURACY, ADEQUACY OR APPROPRIATENESS OF THE GEOTECHNICAL WORK AND PAVEMENT DESIGN. ANY SUCH RESPONSIBILITY SHOULD BE ATTRIBUTED TO CVS AND OBTAINED TO SPIRE.  
ANY SUCH WORK RELATES TO THE GEOTECHNICAL WORK AND PAVEMENT DESIGN SHOULD BE ATTRIBUTED TO CVS AND OBTAINED TO SPIRE.



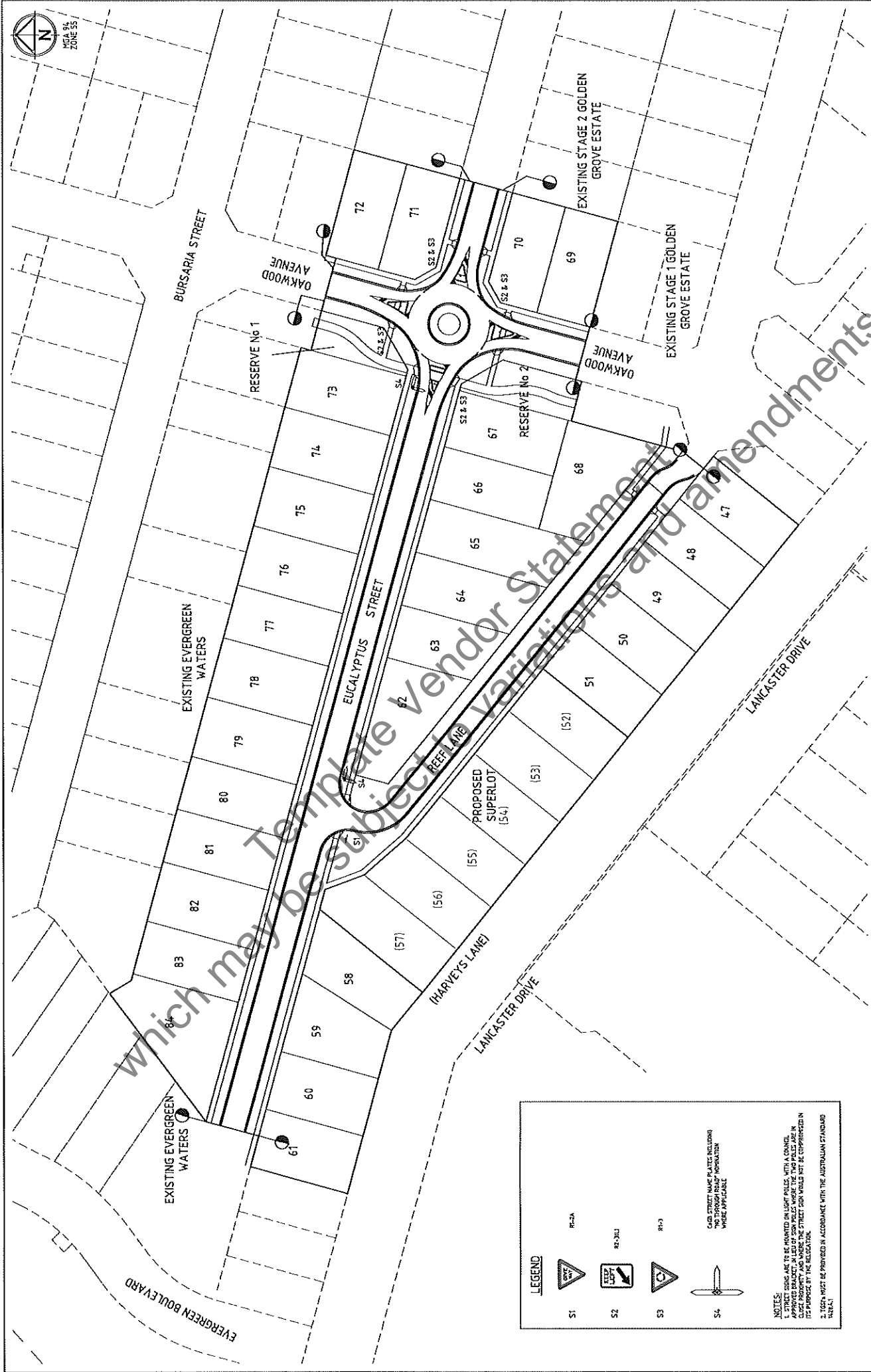
Which may be subject to variations and amendments

Template Vendor Statement

and amendments

10 Dering Street, Derridge, Victoria 3550 Australia | 61 3 9444 2560  
info@spire.com.au | Aust 31 100 001 033

<p>Designed by: H. OAKLEY-WARREN</p> <p>Checked by: B. IBBS</p> <p>Authorised: B. IBBS</p>	<p>Golden Grove Stage 3 Eucalyptus St, Jackass Flat Pavement and Typical Details</p> <p>CITY OF GREATER BENDIGO WARRINGAL VIEWS/P/L</p> <p>Rev: <b>PRELIMINARY 307310CR700</b></p>
<p>AS SHOWN</p>	
<p>Approved: _____ Date: _____</p> <p>Approved: _____ Date: _____</p> <p>Approved: _____ Date: _____</p> <p>Approved: _____ Date: _____</p>	



**LEGEND**

- S1 R2-A
- S2 R2-3L3
- S3 R1-3
- S4 GWS STREET NAME PLATE INCLUDING CURB STREET NAME PLATE POSITION WHERE APPLICABLE

**NOTES:**

- STREET SIGNS ARE TO BE MOUNTED ON LIGHT POLES, WITH A CONICAL APPROVED BRACKET MOUNTED TO THE POLES, UNLESS OTHERWISE SPECIFIED IN ITS PURPOSE BY THE REGULATION.
- TEXTS MUST BE PROVIDED IN ACCORDANCE WITH THE AUSTRALIAN STANDARD 2464.5.

<p>15 Bridge Street, North Melbourne Victoria 3048 Australia T: 61 3 9441 2600 spire.com.au</p>		<p><b>DESIGNED</b> H. OAKLEY-WARREN</p> <p><b>APPROVED</b> B. IBBS</p> <p><b>DATE</b> JUN 2020</p>	<p><b>PROJECT</b> GOLDEN GROVE STAGE 3 EUCALYPTUS ST, JACKASS FLAT SIGNAGE AND LINEMARKING</p> <p><b>CITY OF GREATER BENDIGO</b> DS/226/2010 AND AM/9/24/2011A WARRINGAL VIEWS P/L</p> <p><b>DATE</b> 07/06/20</p> <p><b>REV</b> A</p>
<p><b>DATE</b> JUN 2020</p> <p><b>BY</b> B. IBBS</p>		<p><b>PROJECT</b> GOLDEN GROVE STAGE 3 EUCALYPTUS ST, JACKASS FLAT SIGNAGE AND LINEMARKING</p> <p><b>CITY OF GREATER BENDIGO</b> DS/226/2010 AND AM/9/24/2011A WARRINGAL VIEWS P/L</p> <p><b>DATE</b> 07/06/20</p> <p><b>REV</b> A</p>	

# GOLDEN GROVE STAGE 3 EUCALYPTUS ST, JACKASS FLAT WARRINGAL VIEWS P/L POTABLE AND RECYCLED WATER RETICULATION

- COLIBAN WATER NOTES**
- ALL WORKS TO BE IN ACCORDANCE WITH WSA 03-2011-3.1 WATER SUPPLY CODE AND WSA 03-2011-3.2 WASTE WATER SUPPLY CODE. REFER TO THE DEFINITIONS IN THE COLIBAN WATER SUPPLY CODE.
  - ALL MATERIALS ARE TO BE IN ACCORDANCE WITH COLIBAN WATER RETICULATION EQUIPMENT MANUFACTURERS LIST.
  - ALL DIMENSIONS ARE IN METRES UNLESS OTHERWISE NOTED.
  - ALL VALVES TO BE IN METRES AND TO AID.
  - ALL VALVES TO BE ACCESSIBLE - AFTI, LOSS OF WATER, AND TO BE ACCESSIBLE TO ALL.
  - ALL FLANGES TO BE AS SHOWN PIPING.
  - NUMBER OF VALVES AND FITTINGS TO BE INSTALLED SHALL BE AS SHOWN ON THE DRAWING. REFER TO THE SCHEDULES FOR MATERIAL SPECIFICATION FOR CONSTRUCTION OF PRESSURE PIPES.
  - ALL GROUND LEVELS TO BE AS SHOWN UNLESS OTHERWISE NOTED. REFER TO THE SCHEDULES FOR MATERIAL SPECIFICATION FOR CONSTRUCTION OF PRESSURE PIPES.
  - ALL GROUND LEVELS TO BE AS SHOWN UNLESS OTHERWISE NOTED. REFER TO THE SCHEDULES FOR MATERIAL SPECIFICATION FOR CONSTRUCTION OF PRESSURE PIPES.

- USE EXISTING OVERHEAD WATER SUPPLY TRUNKS.
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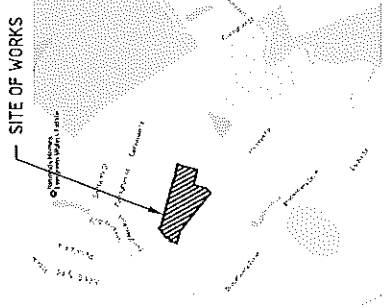
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**GENERAL NOTES**

- USE EXISTING OVERHEAD WATER SUPPLY TRUNKS.
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- USE EXISTING OVERHEAD WATER SUPPLY TRUNKS.



**LOCALITY PLAN**  
SCALE: NOT TO SCALE  
VICROADS: 60759

**CLIENT DETAILS**  
CLIENT: WARRINGAL VIEWS  
CONTACT: GRAEME BRENNAN  
EMAIL: gbr@warringalviewsdevelopment.com.au  
MOB: 0411 399 866  
ADDRESS: 8 GORDONS RD, LOWER TEMPLESTONE, VIC 3107



SHEET NUMBER	SHEET TITLE	REVISION	RECYCLED WATER		ELECTRICITY		WATER	
			DIAMETER (mm)	LENGTH (m)	DIAMETER (mm)	LENGTH (m)	DIAMETER (mm)	LENGTH (m)
1/1	LOCALITY PLAN	C	150	150	150	150	150	150
1/2	DETAILS	C	150	150	150	150	150	150
1/3	DETAILS	C	150	150	150	150	150	150

**CLIENT DETAILS**

CLIENT: WARRINGAL VIEWS  
CONTACT: GRAEME BRENNAN  
EMAIL: gbr@warringalviewsdevelopment.com.au  
MOB: 0411 399 866  
ADDRESS: 8 GORDONS RD, LOWER TEMPLESTONE, VIC 3107

**LOCALITY PLAN**  
SCALE: NOT TO SCALE  
VICROADS: 60759

**TABLE 1: NEW PIPE SCHEDULE**

PIPE SIZE (mm)	TYPE	CLASS	LENGTH (m)	DIAMETER (mm)	LENGTH (m)
150	PVC-C	DRINKING WATER	150	150	150
150	PVC-C	RECYCLED WATER	150	150	150

**TABLE 2: PIPE MATERIAL SCHEDULE**

MATERIAL	REFERENCE
PVC-C	NSW 25-2017-3.1
PVC-C	NSW 25-2017-3.1
PVC-C	NSW 25-2017-3.1
PVC-C	NSW 25-2017-3.1

**TABLE 3: THROUGH RESTRAINT SCHEDULE**

PIPE SIZE (mm)	FITTING	TYPE	LOCATION	AREA (m²)	AREA (ft²)
150	ELBOW	DRINKING WATER	LOT 150	150	150
150	ELBOW	RECYCLED WATER	LOT 150	150	150

**TABLE 4: SERVICE CONNECTION SCHEDULE**

LOCATION	DIAMETER (mm)	LENGTH (m)	MINIMUM COVER (m)
LOT 150	150	150	150
LOT 150	150	150	150
LOT 150	150	150	150

**TABLE 5: THROUGH RESTRAINT SCHEDULE**

PIPE SIZE (mm)	FITTING	TYPE	LOCATION	AREA (m²)	AREA (ft²)
150	ELBOW	DRINKING WATER	LOT 150	150	150
150	ELBOW	RECYCLED WATER	LOT 150	150	150

**GENERAL NOTES**

- USE EXISTING OVERHEAD WATER SUPPLY TRUNKS.
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**GENERAL NOTES**

- USE EXISTING OVERHEAD WATER SUPPLY TRUNKS.
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**GENERAL NOTES**

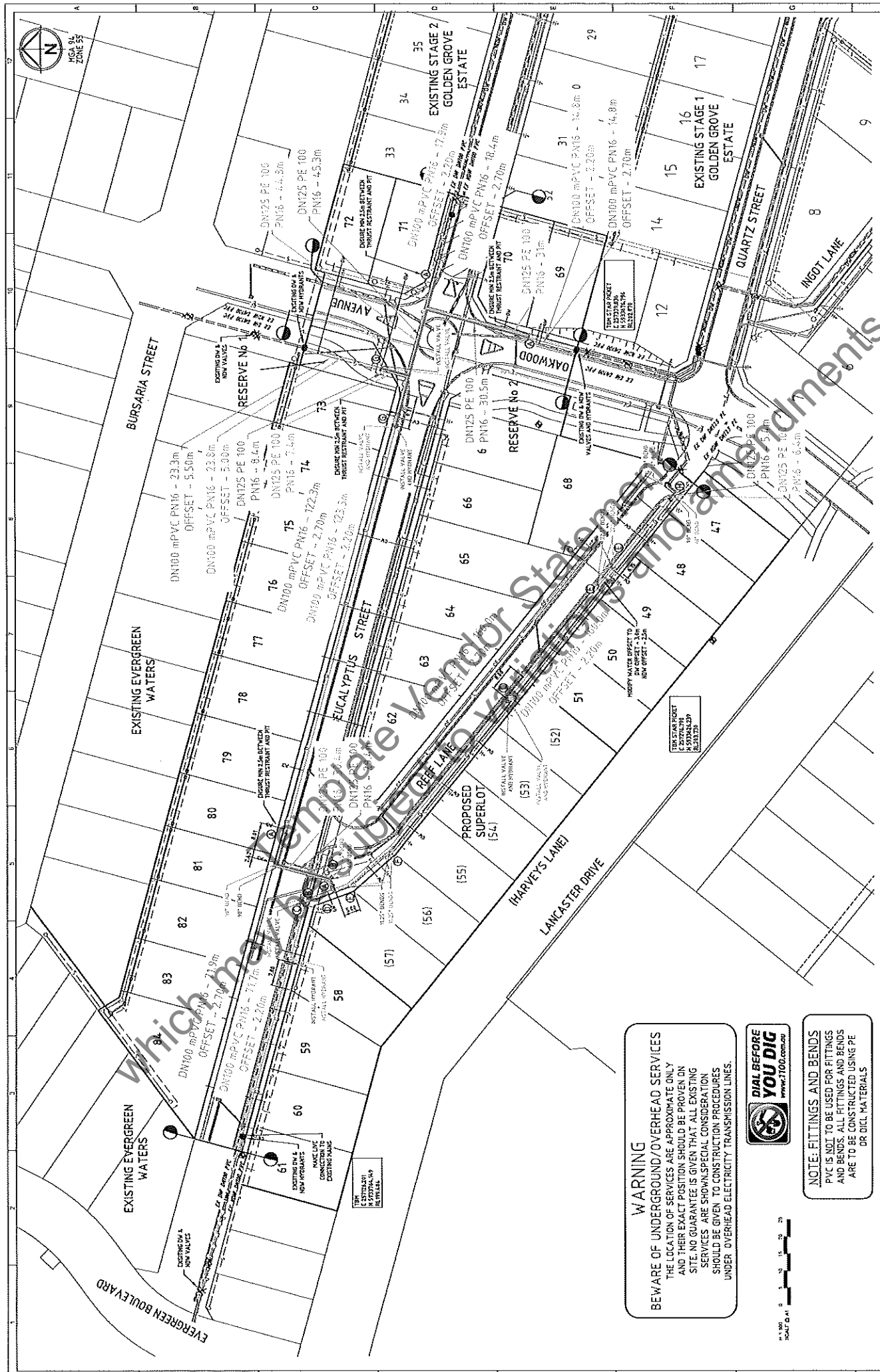
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**WARNING**  
 BEWARE OF UNDERGROUND/OVERHEAD SERVICES  
 THE LOCATION OF SERVICES ARE APPROXIMATE ONLY  
 AND THEIR EXACT POSITION SHOULD BE PROVIDED ON  
 SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING  
 SERVICES ARE SHOWN. SPECIAL CONSIDERATION  
 SHOULD BE GIVEN TO CONSTRUCTION PROCEDURES  
 UNDER OVERHEAD ELECTRICITY TRANSMISSION LINES.



**NOTE: FITTINGS AND BENDS**  
 PVC IS NOT TO BE USED FOR FITTINGS AND BENDS  
 AND BENDS. ALL FITTINGS AND BENDS  
 ARE TO BE CONSTRUCTED USING PE  
 OR DIELL MATERIALS



		<b>WARRINGAL VIEWS P/L</b>		<b>COLIBAN WATER</b> CITY OF GREATER BENDIGO 35282010 AND AWA0011A GOLDEN GROVE STAGE 3 WATER RETIC LAYOUT PLAN EXT. NO. ME 20465	
AUTHORITY PRODUCT No.	TICHAMBA	ME 20465	SCALE: AS SHOWN SHEET: 2 OF 2	SPIRE DWG No.: 307310CW200	REV C
REVISIONS	REVISIONS	REVISIONS	REVISIONS	REVISIONS	REVISIONS
DATE: JULY 2020	DATE: JULY 2020	DATE: JULY 2020	DATE: JULY 2020	DATE: JULY 2020	DATE: JULY 2020

LEGEND

⊗	VALVE	⊗	THROTT RESTRAINT LOCATION
⊗	HYDRANT, ALLEY HYDRANT	⊗	THROTT RESTRAINT ICON
⊗	TAPER	⊗	FOR ADDITIONAL SYMBOLS NOT INCLUDED HERE REFER TO HWA-00-016
⊗	RECYCLED WATER	⊗	
⊗	POTABLE WATER	⊗	

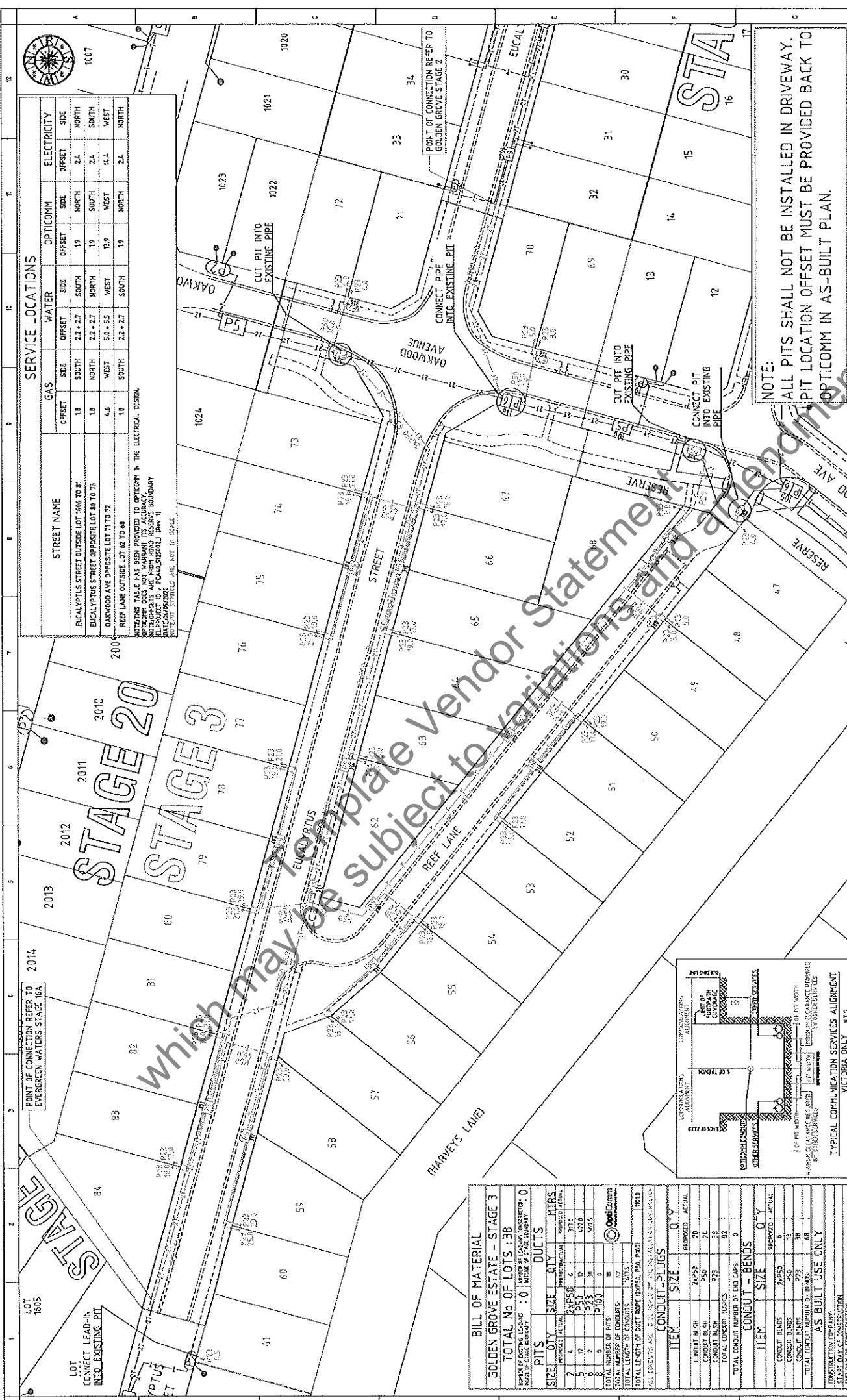
REV	DATE	DESCRIPTION
0	JULY 2020	U1
1	AUG 2020	U1
2	MAY 2020	U1
3		U1



**SERVICE LOCATIONS**

STREET NAME	GAS		WATER		OPTICOMM		ELECTRICITY	
	OFFSET	SIDE	OFFSET	SIDE	OFFSET	SIDE	OFFSET	SIDE
EUKALYPTUS STREET OPPOSITE LOT 168 TO 81	1.8	SOUTH	2.2 + 2.7	SOUTH	1.9	NORTH	2.4	NORTH
EUKALYPTUS STREET OPPOSITE LOT 88 TO 73	1.8	NORTH	2.2 + 2.7	NORTH	1.9	SOUTH	2.4	SOUTH
OAKWOOD AVE OPPOSITE LOT 71 TO 72	4.6	WEST	5.0 + 5.5	WEST	13.9	WEST	14.4	WEST
REF LANE OUTSIDE LOT 82 TO 68	1.8	SOUTH	2.2 + 2.7	SOUTH	1.9	NORTH	2.4	NORTH

NOTES: THIS TABLE HAS BEEN PROVIDED TO OPTICOMM IN THE ELECTRICAL DESIGN. OPTICOMM DOES NOT WARRANT ITS ACCURACY. THE LOCATION OF ANY SERVICE SHALL BE VERIFIED BY THE INSTALLATION CONTRACTOR. THE PROJECT IS: POA31542012.J (REV 16) DATE: 16/05/2024. EMPTY SYMBOLS ARE NOT TO SCALE.



**NOTE:**  
ALL PITS SHALL NOT BE INSTALLED IN DRIVEWAY.  
PIT LOCATION OFFSET MUST BE PROVIDED BACK TO OPTICOMM IN AS-BUILT PLAN.

**BILL OF MATERIAL**  
GOLDEN GROVE ESTATE - STAGE 3  
TOTAL NO OF LOTS : 38

NUMBER OF EXISTING LEADINGS : 0 NUMBER OF LEADING CONNECTED : 0  
NUMBER OF STAGE BOUNDARY : 0 NUMBER OF STAGE BOUNDARY : 0

SIZE	QTY	DUCTS		MTRS
		PROPOSED	ACTUAL	
2xP50	6	3710		
P50	10	4270		
P23	38	5065		
P100	0			
TOTAL NUMBER OF PITS	18			
TOTAL NUMBER OF CONDUITS	67			
TOTAL LENGTH OF CONDUITS (MTRS)				1018

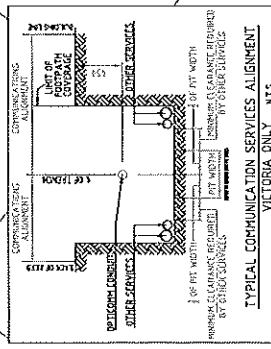
ALL CONDUITS ARE TO BE RIGID BY THE INSTALLATION CONTRACTOR

ITEM	SIZE	CONDUIT - PLUGS	
		PROPOSED	ACTUAL
CONDUIT BUSH	2xP50	70	
CONDUIT BUSH	P50	74	
CONDUIT BUSH	P23	38	
TOTAL CONDUIT BUSHES		82	
TOTAL CONDUIT NUMBER OF END LAPS		0	

ITEM	SIZE	CONDUIT - BENDS	
		PROPOSED	ACTUAL
CONDUIT BEND	P50	0	
CONDUIT BEND	P23	16	
TOTAL CONDUIT NUMBER OF BENDS		16	
TOTAL CONDUIT NUMBER OF BENDS		68	

CONSTRUCTION COMPANY: **AS BUILT USE ONLY**

START DATE OF CONSTRUCTION: \_\_\_\_\_ END DATE OF CONSTRUCTION: \_\_\_\_\_



**OptiComm National Broadband Fibre**

PROJECT NUMBER: 03 004 8556  
CONTACT NUMBER: 03 004 8556  
EMAIL: [DESIGN@OPTICOMM.NET.AU](mailto:DESIGN@OPTICOMM.NET.AU)

**WARNING:**  
PROTECT ALL UNDERGROUND SERVICES. THE LOCATION OF UNDERGROUND SERVICES SHALL BE VERIFIED BY THE INSTALLATION CONTRACTOR. THE PROJECT IS: POA31542012.J (REV 16) DATE: 16/05/2024. EMPTY SYMBOLS ARE NOT TO SCALE.

REV	DATE	DESCRIPTION
1	16/05/2024	ISSUE FOR CONSTRUCTION

PROJECT MANAGER: BEN CROSS  
DRAWING TITLE: GOLDEN GROVE ESTATE STAGE 3 CONSTRUCTION PLAN  
SCALE: 1:100  
SHEET NO. 1 OF 1

PROJECT NUMBER: GOLD-0003

Golden Grove Estate  
Stage 3 – Lot 47  
Jackass Flat

Geotechnical Investigation for  
Warringal Views P/L

Report 20C.0457 Lot 47  
June 2020

Template Vendor Statement  
which may be subject to variations and amendments



Golden Grove Estate  
Stage 3 – Lot 47  
Jackass Flat

Geotechnical Investigation  
for  
Warringal Views P/L

Revision

Revision	Date	Authorised
20C 0457 Lot 47	04/06/2020	BAB

Distribution (this version only)

Recipient	Format	Date
GTS	On file	17/06/2020
Warringal Views P/L Attn: Spiire – Brendan ibbs	Email PDF brendan.ibbs@spiire.com.au	17/06/2020

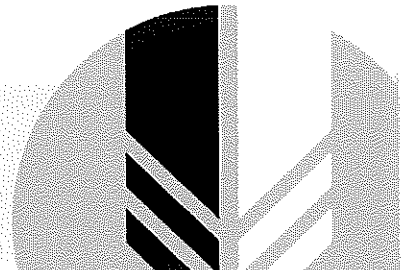
GEOTECHNICAL | ENVIRONMENTAL | CONSTRUCTION MATERIALS TESTING

PO Box 13,  
Strathdale VIC 3550  
Fax 03 5441 5089  
Email info@gts.com.au

Bendigo Laboratory  
Gate 7, Sharon St.  
Flora Hill VIC 3550  
Phone 03 5441 4881

Echuca Laboratory  
Shed 3, 140 Ogilvie Ave,  
Echuca VIC 3565  
Phone 03 5480 0601

Ballarat Laboratory  
Unit 6, 33 Laidlaw Dr,  
Delacombe VIC 3356  
Phone 03 5335 6494



## 1 INTRODUCTION

Warringal Views P/L commissioned Geotechnical Testing Services (GTS) to conduct a geotechnical investigation for the proposed development at Golden Grove Estate, Stage 3 - Lot 48, Jackass Flat.

The investigation has been conducted for the purpose of assessing general subsurface conditions at the site and consequently assigning a Site Classification in accordance with *AS2870 – 2011 Residential Slabs and Footings*.

## 2 INVESTIGATION

The investigation was conducted on the 26<sup>th</sup> May 2020 using a trailer mounted drill rig to drill 3 boreholes to depths of 1.5 to 2.1 metres within the designated area. The subsequent soil profiles are presented on page 4 and the location of the boreholes is presented on page 5.

At the time of this investigation, the type of development proposed is understood by GTS to be a new residential building. If the actual construction varies from this, then changes may be necessary to this classification report.

## 3 SITE CONDITIONS

The site is undulating and is currently vacant. At the time of the investigation, the surface of the site was dry to moist with sparse grass cover. There were several small to large sized trees just outside the boundaries of the site. There was no visual evidence of surface rock or surface cracking. No groundwater seepage was encountered over the investigated depths.

Full details of the soil conditions are presented in the borehole logs.

## 4 SITE CLASSIFICATION

After allowing due consideration to the site geology, soil conditions, drainage, vegetation, and known details of the proposed structure, the site has been classified as **Class P** (*AS2870 – 2011*), due to the proximity of trees which may cause abnormal moisture conditions.

The reactivity of the material at the site would typically lead to a **Class M-D** classification.

Foundations designed in accordance with this classification are to be subject to the overriding conditions of Section 5 below.

## 5 DISCUSSION

Particular attention should be paid to the design of footings as required by AS2870 – 2011.

In addition to the normal founding requirements arising from the above classification, particular conditions at the site dictate that the founding medium and minimum depth below existing surface levels for all footings should be as follows:

- Silty CLAY, medium plasticity, brown, off-white, stiff, some fine gravel  
At depth below 0.1 metres in the region of BH1, BH2 & BH3

An allowable bearing pressure of 100kPa is available for edge beams, strips and stump footings founded in the material as above. All foundations should extend a minimum of 100mm into the above foundation material.

The proposed development should be located a minimum distance of 1 x the mature height of all trees. This distance should be increased by 50% for groups or lines of trees. If this distance is impeded, then the size and distance from the development of the tree(s) needs to be taken into account when designing the foundation.

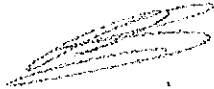
## 6 IMPORTANT NOTES ABOUT THIS REPORT

- The site classification presented in Section 4 assumes that the current natural drainage and infiltration conditions at the site will not be markedly affected by the proposed site development work. Care should therefore be taken to ensure that surface water is not permitted to collect adjacent to the structure and that significant changes to seasonal soil moisture equilibria do not develop as a result of service trench construction or tree root action.
- Attention is drawn to Appendix B of AS2870 and CSIRO document *BTF 18 – Foundation Maintenance and Footing Performance: A Homeowner's Guide* as a guide to maintenance requirement for the proposed structure.
- This is not a comprehensive investigation nor is it economic or practical to determine every subsurface feature on the site. Although this investigation indicates that soil conditions are relatively uniform across the site, it is recommended that the base of all footing excavations be inspected to ensure that the founding medium meets that requirements referenced herein with respect to type and strength of founding materials. If further variations in descriptions in soil types, colour or depths are discovered during construction, this office should be notified immediately so that potential influence on the footings may be assessed.
- The soil colours provided in the borehole logs attached may vary with soil moisture content and individual interpretation, therefore colour alone should not be used to identify these soils.
- Strength characteristics of soils often exhibit a large variation between wet and dry conditions. Soil characteristics of a soil profile are given on the soil conditions at the time of the investigation.
- In the event of significant earthworks being undertaken on the site after this investigation, this report may require an amendment if appropriate.

- If FILL is found during this investigation, it is an indication of what was found during the investigation and it may vary over the site. It may be in the best interest of the buyer/seller to undertake a more detailed investigation, in this instance.

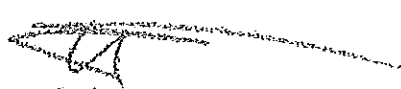
Should you have any further queries concerning these results, please do not hesitate to contact GTS on 03 5441 4881.

Prepared by



**Jackson Blakemore** BE (Hons), GradIEAust  
*Geotechnical Engineer*

Reviewed by



**Benj Beatty** BA/BSc (Hons), MPA  
*Engineering Geologist*

Template Vendor Statement  
which may be subject to variations and amendments

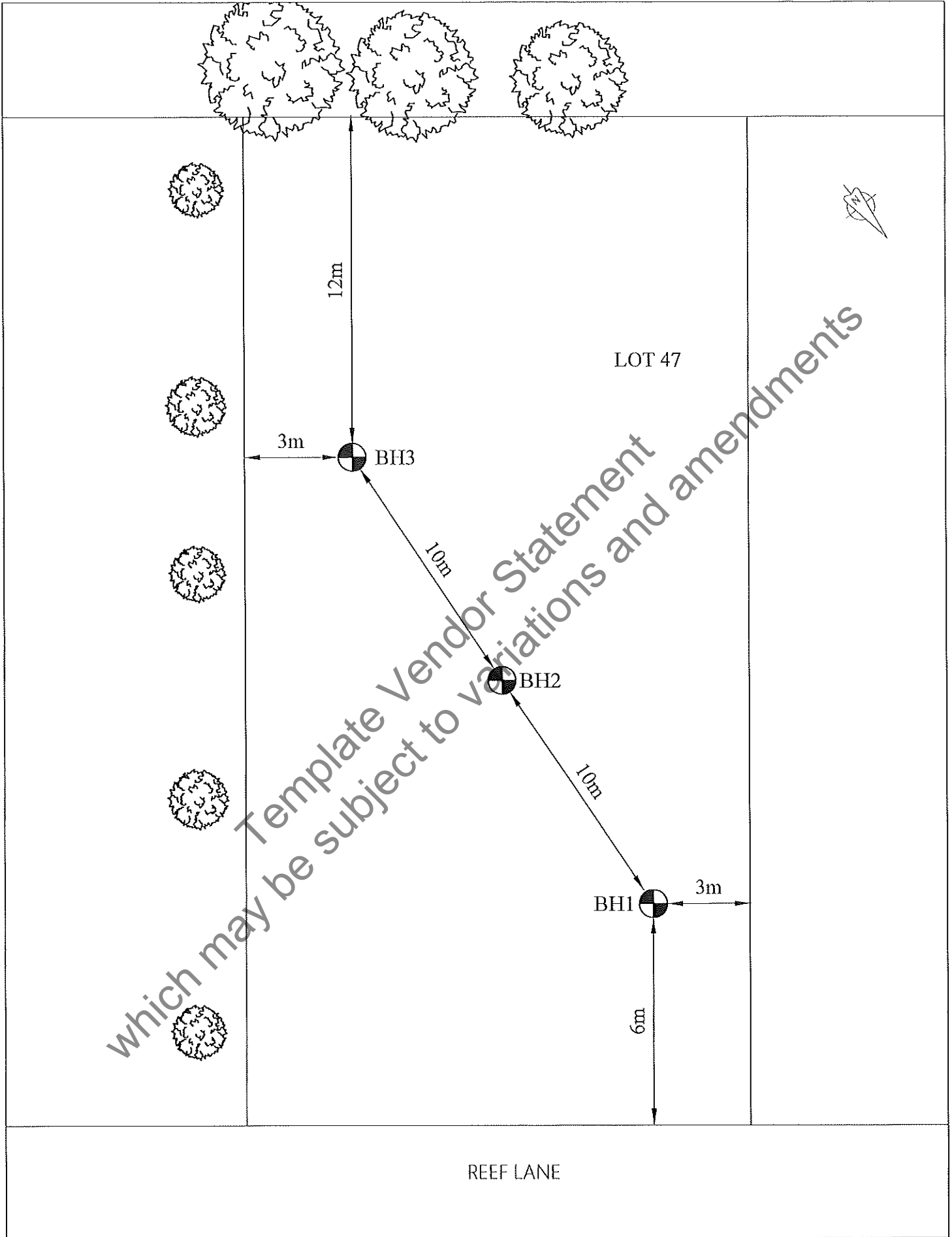
## BOREHOLE LOGS

Client:	Warringal Views P/L	Borehole log no:	1-3
		Report number:	20C 0457 Lot 47
		Date drilled:	26/05/20
Project:	Golden Grove Estate, Stage 3 – Lot 48, Jackass Flat	Logged by:	BT
		Drilling method:	AS

Profile (mm):	* Structure: (see key)	Material Description:	Moisture Description:	Cohesion Density:	Plasticity:	Testing / Sampling:
0 To 100	FILL	<b>BH1</b> Gravelly Silty SAND Pale brown, fine to medium sand and gravel	D-M	L - MD	-	-
100 To 800	Soil Profile	Silty CLAY Brown, some fine gravel	M	St	Medium	-
800 To 1200	Residual Soil	Silty CLAY Pale brown mottled off white, some fine gravel	M	VSt	Low	-
1200 To 1500	Rock	SANDSTONE Extremely weathered, brown, red/brown	D	Very low-Low	-	-
0 To 100	FILL	<b>BH2</b> Gravelly Silty SAND Pale brown, fine to medium sand and gravel	D - M	L - MD	-	-
100 To 1600	Soil Profile	Silty CLAY Brown, off white, some fine gravel	M	St	Medium	-
1600 To 2100	Rock	SILTSTONE/SANDSTONE Extremely weathered, red/brown, pale brown	D	Very low-Low	-	-
0 To 100	FILL	<b>BH3</b> Gravelly Silty SAND Pale brown, fine to medium sand and gravel	M	St	Medium	-
100 To 1400	Soil Profile	Silty CLAY Brown, off white, some fine gravel	M	St	Medium	-
1400 To 1600	Residual Soil	Silty CLAY Red/brown mottled off white, some fine gravel	M	VSt	Low	-

### Key

Drilling Method	Moisture Condition	Cohesion	Density	Testing/Sampling
AS – auger screwing	D – dry	VS – very soft	VL – vey loose	PP – pocket penetrometer
HA – hand auger	M – moist	S – soft	L – loose	V – hand vane sheer
	W – wet	F – firm	MD – medium dense	DCP – dynamic cone penetrometer
		St – stiff	D – dense	SPT – standard penetration test
		VSt – very stiff	VD – very dense	US – undisturbed sampling
		H – hard		DS – disturbed sampling
		VH – very hard		* see notes on bore location page



which may be subject to variations and amendments



**GEOTECHNICAL INVESTIGATION**

APPROXIMATE LOCATIONS  
NOT TO SCALE

CLIENT: WARRINGAL VIEWS P/L  
PROJECT: GOLDEN GROVE ESTATE, STAGE 3,  
JACKASS FLAT

GTS REF: 20C 0457 (LOT 47)  
CLIENT REF:

DRAWN BY: JRB  
DATE: 1 JUNE 2020

# SALINITY MANAGEMENT GUIDELINES

EVERGREEN WATERS ESTATE  
INCORPORATING  
GOLDEN GROVE – STAGE 3  
JACKASS FLAT

PREPARED BY SIMONDS DEVELOPMENTS – AUGUST 2011

TABLE OF CONTENTS

1	Introduction
2	Groundwater Investigation Report
3	Salinity Management Guidelines

Template Vendor Statement  
which may be subject to variations and amendments



## 1. INTRODUCTION

Planning Permits AM/226/2010 and AM/904/2011, issued by the City of Greater Bendigo, give conditional approval for the development of Golden Grove Estate. Both Planning Permits contain conditions relating to the testing for saline groundwater and the provision of guidelines to stipulate geotechnical standards for the construction of dwellings on land where testing shows that saline groundwater is present at a depth of between 1.6m – 2.5m.

In accordance with these conditions the Salinity Management Guidelines for the Evergreen Waters Estate (which incorporates the Golden Grove Estate) was approved by the City of Greater Bendigo. A copy of these overall guidelines is found at section 3 of these guidelines.

The Planning Permits require an agreement under Section 173 of the *Planning and Environment Act 1987* is to be registered on the Titles for each relevant lot which stipulates that:

1. *Dwellings on lots affected by saline groundwater, where the depth to the water table is 1.6m-2.5m, will be constructed in accordance with the guidelines approved under this permit.*
2. *No dwellings will be constructed on lots where the depth to the water table is 0m-1.5m.*

### 1.1 Summary of Guidelines

In accordance with the above requirements a Groundwater Investigation Report has been prepared by Geotechnical Testing Services (GTS), a copy of which is found at section 2 of these guidelines.

Boreholes 1, 2 and 3 (BH1, BH2, BH3) have been excavated within the area identified as **Stage 3** of the Golden Grove Estate. The findings of the GTS report indicates that no shallow groundwater (less than 3 metres) is present within the confines of the area identified.

Based on these findings the specific construction standards as detailed within the Salinity Management Guidelines, at section 3 of this report, are not necessary on any lots within stage 3 of the Golden Grove Estate.

Template Vendor Statement and amendments  
which may be subject to variations and amendments

2. GROUNDWATER INVESTIGATION REPORT

Template Vendor Statement  
which may be subject to variations and amendments

# Golden Grove Estate Jackass Flat

Groundwater Investigation  
for  
Warringal Views P/L

Report 20C 0155  
March, 2020

Template Vendor Statement  
which may be subject to variations and amendments



**GTS**  
GEOTECHNICAL TESTING SERVICES

# Golden Grove Estate

## Groundwater Investigation

for  
Warringal Views P/L

### Revision

Revision	Date	Authorised
20C 0155	16/03/20	BAB

### Distribution (this revision only)

Recipient	Format	Date
GTSS	On file	16/03/2020
Warringal Views P/L c/- Spiire Attn: Brendan Ibbs	Email PDF	16/03/2020

## TABLE OF CONTENTS

1	INTRODUCTION .....	4
2	SITE AND GEOLOGY .....	4
2.1	SITE LOCATION.....	4
2.2	GEOLOGY .....	4
3	FIELDWORK .....	4
4	IMPORTANT NOTES ABOUT THIS REPORT.....	5
5	DISCLAIMER.....	5

## APPENDIX

Borehole Locations  
Engineering Logs  
Descriptive Terms

Template Vendor Statement  
which may be subject to variations and amendments

## **1 INTRODUCTION**

Warringal Views P/L has commissioned Geotechnical Testing Services (GTS) to undertake a groundwater investigation at the Golden Grove Estate development.

The purpose of the investigation was to determine if there was shallow presence of groundwater along the southern and eastern sectors of the site.

## **2 SITE AND GEOLOGY**

### **2.1 SITE LOCATION AND GENERAL CONDITIONS**

The site is located at Golden Grove Estate, Jackass Flat.

The site is considered to have slight fall towards the Jackass Gully creek alignment bordering the sites Western sector. At the time of the investigation, the surface of the site was dry and had no grass cover. Visual evidence of surface rock was noted in the forms of exposed reefs and gravel throughout the site. There are many large trees predominately within the sites North East boundary which neighbours a flora reserve.

### **2.2 GEOLOGY**

The Victorian Government's online "Geovic" map shows the area to be underlain by Ordovician aged sedimentary rock of the Castlemaine Group with this generally confirmed by the field data.

## **3 FIELDWORK**

The geotechnical investigation was conducted on the 2<sup>nd</sup> March 2020 and involved the drilling of 15 borehole by Gemco drilling rig to depths of 3.0 metres or refusal.

The field investigation was conducted by a technician under the direction of a Geotechnical Engineer, who logged the subsurface profile. No groundwater was detected in the 15 boreholes, with relatively dry soil conditions experienced throughout the investigation. Borehole 8 was drilled to depth of 2.0m before refusal on medium strength extremely weathered siltstone. The engineering logs are included in the Appendix with their locations shown on the enclosed site plan.

#### 4 IMPORTANT NOTES ABOUT THIS REPORT

The results from this investigation relate to the specified sites labelled throughout this document, and hence the information obtained may need to be extrapolated to the rest of the designated area. While care has been taken throughout this investigation, soil conditions can vary between each individual test site and at depths greater than that drilled during this investigation. Hence, if variations from this report are found during excavations/construction then Geotechnical Testing Services should be notified so it can be assessed, and appropriate advice provided.

The soil colours provided in the borehole logs attached may vary with soil moisture content and individual interpretation, therefore colour alone should not be used to identify these soils.

Strength characteristics of soils often exhibit a large variation between wet and dry conditions. Soil characteristics of a soil profile are given on the soil conditions at the time of the investigation.

#### 5 DISCLAIMER

This investigation has been carried out in goodwill and under the instructions of Warringal Views P/L. The investigation has been undertaken with the care and skill of competent personnel as defined within Geotechnical Testing Services quality system. It is not a comprehensive investigation but a guide to the conditions throughout the designated area.

This document has been prepared for Warringal Views P/L, and hence no responsibility or liability is being accepted to any third party, where any part of the report is used in either isolation or without consideration of the whole document. This document is not appropriate where there has been a significant change in the project or either for the specific needs of the reader.

Please, don't hesitate to contact the undersigned, if you require any further information or assistance.

Prepared by



**Jackson Blakemore** BE (Hons), GradIEAust  
*Graduate Geotechnical Engineer*

Reviewed by

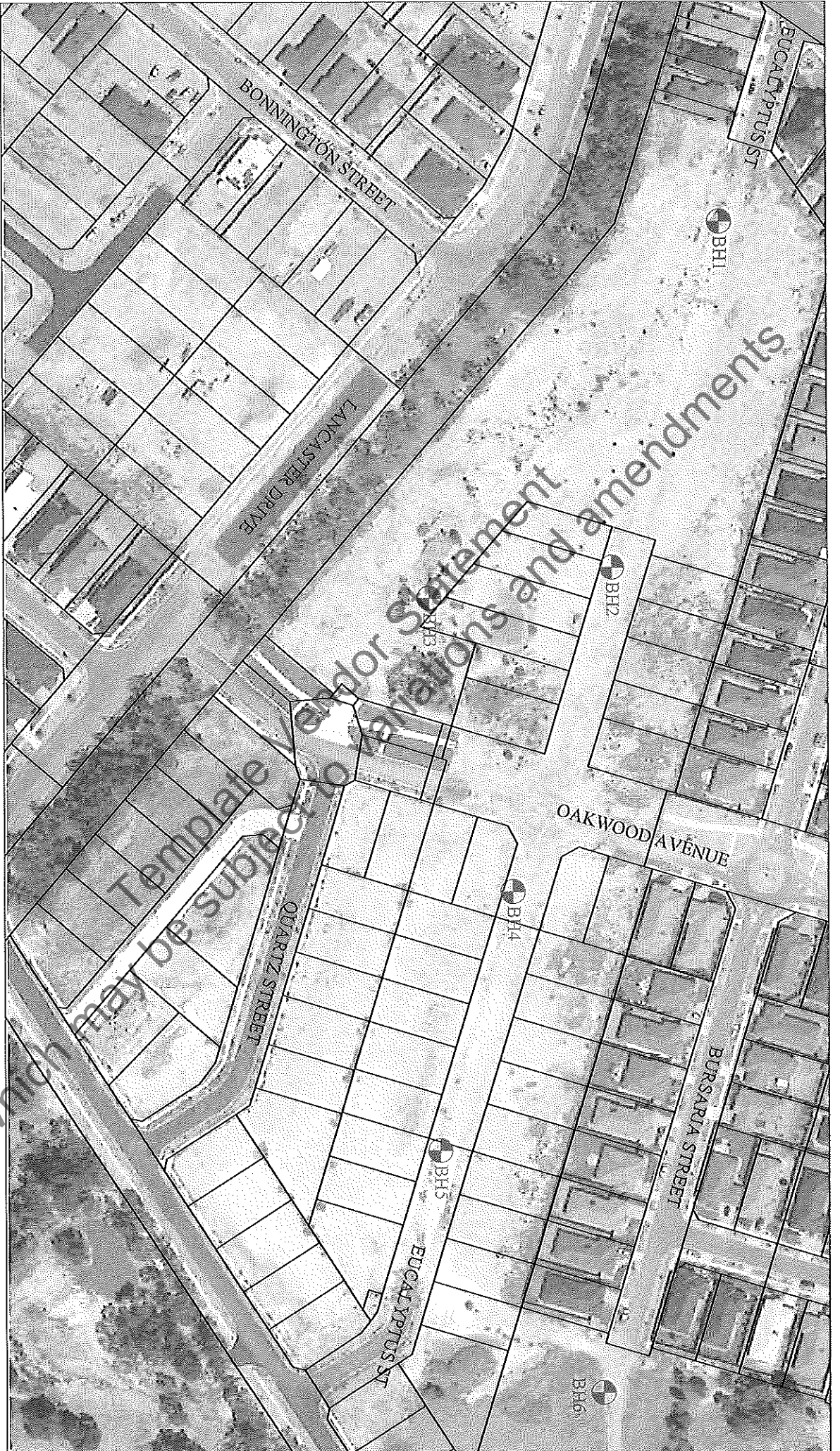


**Benj Beatty** BA/BSc (Hons), MPA, MAusIMM  
*Senior Geologist*

# APPENDIX

Template Vendor Statement  
which may be subject to variations and amendments

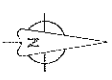




**GEOTECHNICAL INVESTIGATION**  
 APPROXIMATE LOCATIONS:  
 NOT TO SCALE

**CLIENT:** WARRINGAL VIEWS P/L  
**PROJECT:** GOLDEN GROVE ESTATE,  
 JACKASS FLATS

GTS REF: 20C 0155  
 DATE: 2 MARCH 2020





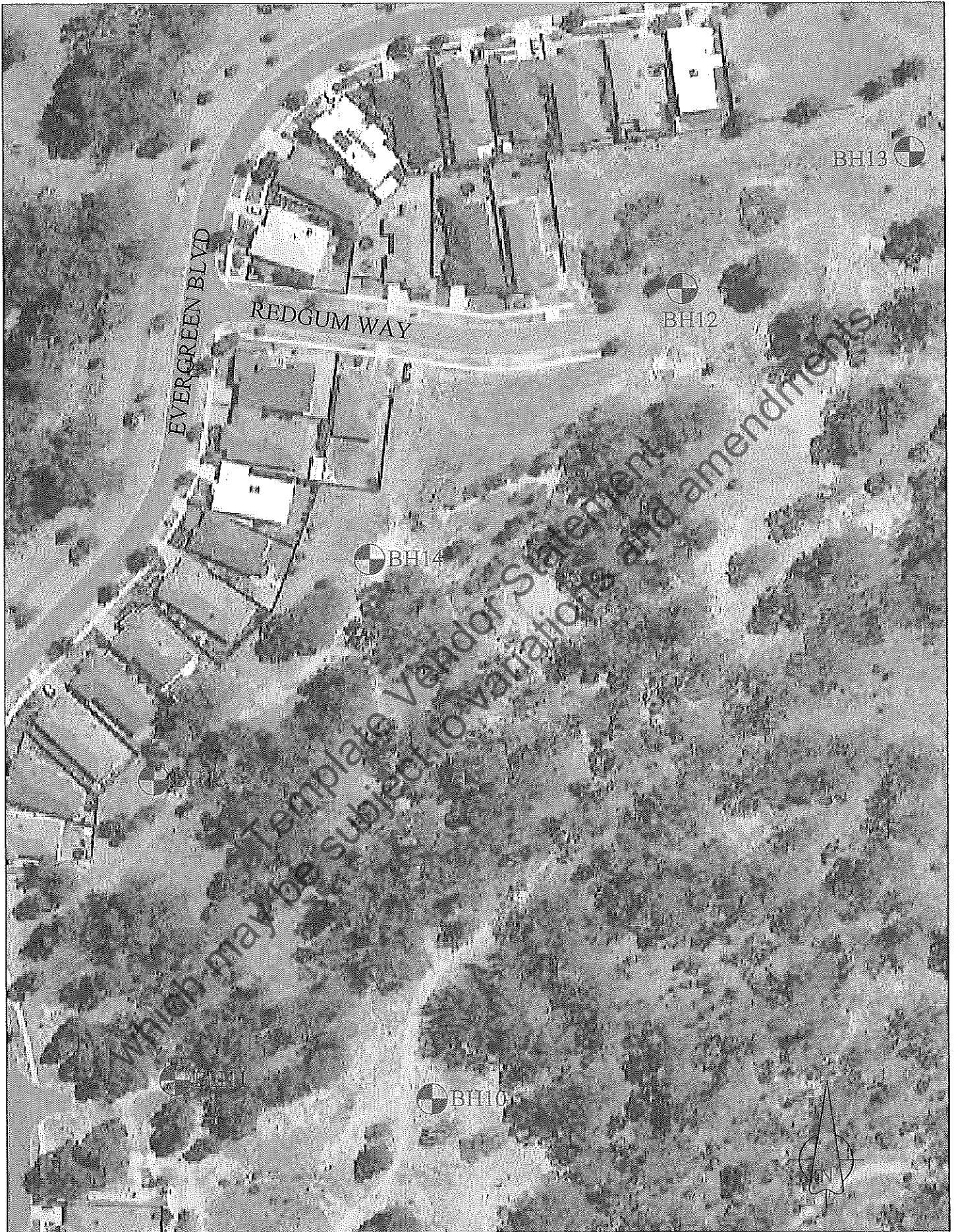
**GEOTECHNICAL INVESTIGATION**

APPROXIMATE LOCATIONS  
NOT TO SCALE

CLIENT: WARRINGAL VIEWS P/L  
PROJECT: GOLDEN GROVE ESTATE,  
JACKASS FLATS

GTS REF: 20C 0155

DATE: 2 MARCH 2020



**GEOTECHNICAL INVESTIGATION**

APPROXIMATE LOCATIONS  
NOT TO SCALE

CLIENT: WARRINGAL VIEWS P/L  
PROJECT: GOLDEN GROVE ESTATE,  
JACKASS FLATS

GTS REF: 20C 0155

DATE: 2 MARCH 2020



# ENGINEERING BOREHOLE LOG

Borehole no. 1  
 Sheet no. 1 of 15  
 Job no. 20C 0155

PO Box 13, Strathdale 3550  
 Ph (03) 54414881 Fax (03) 5441 5089

Client : Warringai Views P/L		Date: 2/03/2020							
Project : Geotechnical Investigation		Logged by: TP							
Location : Golden Grove Estate, Jackass Flats									
Drill model : Gemco HS7	Slope	90 deg	RL surface: <i>Not measured</i>						
Hole diameter : 100mm	Bearing	- deg	Datum :						
Material Description	Depth (m)	Graphic log	Water	Moisture condition	Consistency density, index	Structure, additional observations	Notes Samples Tests	Method	Support
FILL: Gravelly Silty CLAY (CL), low plasticity, brown, grey, fine to medium gravel	900mm 0.50			D	St	FILL			
Silty CLAY (CI), medium plasticity, red brown, pale brown, some fine to medium gravel	1600mm 1.50			M	VSt				
Clayey Sandy GRAVEL (GP), fine to medium gravel, fine to coarse sand, brown, low plasticity	2000mm 2.00			D	MD				
Silty CLAY (CI), medium plasticity, pale brown mottled grey, traces of fine to medium gravel	2600mm 2.50			M	St				
SILTSTONE, extremely weathered, off white	3000mm 3.00			D	VL				
BH1 terminated at 3.0 metres	3.50 4.00					Dry Hole			



# ENGINEERING BOREHOLE LOG

Borehole no. 2  
 Sheet no. 2 of 15  
 Job no. 20C 0155

PO Box 13, Strathdale 3550  
 Ph (03) 54414881 Fax (03) 5441 5089

Client : Warringal Views P/L		Date: 2/03/2020							
Project : Geotechnical Investigation		Logged by: TP							
Location : Golden Grove Estate, Jackass Flats									
Drill model : Gemco HS7	Slope 90 deg	RL surface: <i>Not measured</i>							
Hole diameter : 100mm	Bearing - deg	Datum :							
Material Description	Depth (m)	Graphic log	Water	Moisture condition	Consistency density, index	Structure, additional observations	Notes Samples Tests	Method	Support
FILL: Clayey Sandy GRAVEL (GW), fine to coarse, pale brown, low plasticity 100mm				D	MD	FILL			
Silty CLAY (Cl), medium plasticity, red brown 400mm				M	VSt				
Gravelly Silty CLAY (CL), low plasticity, pale brown, fine to medium gravel 700mm	0.50			D	St	Residual soil			
SANDSTONE/SILTSTONE, extremely weathered, pale brown 3000mm	1.00			D	L				
	1.50								
	2.00								
	2.50								
	3.00								
BH2 terminated at 3.0 metres						Dry Hole			
	3.50								
	4.00								

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# ENGINEERING BOREHOLE LOG

Borehole no. 3  
 Sheet no. 3 of 15  
 Job no. 20C 0155

PO Box 13, Strathdale 3550  
 Ph (03) 54414881 Fax (03) 5441 5089

Client : Warringal Views P/L		Date: 2/03/2020							
Project : Geotechnical Investigation		Logged by: TP							
Location : Golden Grove Estate, Jackass Flats									
Drill model : Gemco HS7	Slope 90 deg	RL surface: <i>Not measured</i>							
Hole diameter : 100mm	Bearing - deg	Datum :							
Material Description	Depth (m)	Graphic log	Water	Moisture condition	Consistency density, index	Structure, additional observations	Notes Samples Tests	Method	Support
FILL: Clayey Sandy GRAVEL (GW), fine to coarse sand and gravel, pale brown 100mm				D	MD	FILL			
Gravelly Sandy Silty CLAY (CL), low plasticity, pale brown 1300mm	0.50			D	VSI				
	1.00								
SANDSTONE/SILTSTONE, extremely weathered, yellow brown sandstone layering off white siltstone 3000mm	1.50			D	L-VL				
	2.00								
	2.50								
	3.00								
BH3 terminated at 3.0 metres						Dry Hole			
	3.50								
	4.00								

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## ENGINEERING BOREHOLE LOG

Borehole no.    4  
 Sheet no.        4 of 15  
 Job no.          20C 0155

PO Box 13, Strathdale 3550  
 Ph (03) 54414881 Fax (03) 5441 5089

Client :            Warringal Views P/L		Date:            2/03/2020	
Project :           Geotechnical Investigation		Logged by:      TP	
Location :        Golden Grove Estate, Jackass Flats			
Drill model :    Gemco HS7	Slope            90 deg	RL surface: <i>Not measured</i>	
Hole diameter : 100mm	Bearing        - deg	Datum :	

Material Description	Depth (m)	Graphic log	Water	Moisture condition	Consistency density, index	Structure, additional observations	Notes Samples Tests	Method	Support
FILL: Sandy GRAVEL (GW), fine to coarse sand and gravel, pale brown 100mm	0.50			D	MD	FILL			
Silty CLAY (Cl), medium plasticity, brown, traces of fine gravel 800mm				M	St				
SILTSTONE, extremely weathered, pale brown, off white 3000mm	1.00			D	VL				
	1.50								
	2.00								
	2.50								
	3.00								
BH4 terminated at 3.0 metres	3.50					Dry Hole			
	4.00								

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**GTS**  
 GEOTECHNICAL TESTING SERVICES

**ENGINEERING  
 BOREHOLE LOG**

Borehole no. 5  
 Sheet no. 5 of 15  
 Job no. 20C 0155

PO Box 13, Strathdale 3550  
 Ph (03) 54414881 Fax (03) 5441 5089

Client : Warringal Views P/L		Date: 2/03/2020							
Project : Geotechnical Investigation		Logged by: TP							
Location : Golden Grove Estate, Jackass Flats									
Drill model : Gemco HS7	Slope	90 deg	RL surface: <i>Not measured</i>						
Hole diameter : 100mm	Bearing	- deg	Datum :						
Material Description	Depth (m)	Graphic log	Water	Moisture condition	Consistency density, index	Structure, additional observations	Notes Samples Tests	Method	Support
FILL: Gravelly Silty CLAY (CI), low to medium plasticity, brown, pale brown	1600mm			M	St-VS	FILL			
	0.50								
	1.00								
	1.50								
SILTSTONE, extremely weathered, off white	3000mm			D	VL				
	2.00								
	2.50								
	3.00								
BH5 terminated at 3.0 metres						Dry Hole			
	3.50								
	4.00								





## ENGINEERING BOREHOLE LOG

PO Box 13, Strathdale 3550  
Ph (03) 54414881 Fax (03) 5441 5089

Borehole no. 6  
Sheet no. 6 of 15  
Job no. 20C 0155

Client : Warringal Views P/L		Date: 2/03/2020							
Project : Geotechnical Investigation		Logged by: TP							
Location : Golden Grove Estate, Jackass Flats									
Drill model : Gemco HS7	Slope	90 deg	RL surface: <i>Not measured</i>						
Hole diameter : 100mm	Bearing	- deg	Datum :						
Material Description	Depth (m)	Graphic log	Water	Moisture condition	Consistency density, index	Structure, additional observations	Notes Samples Tests	Method	Support
FILL: Gravelly Silty CLAY (CL), low plasticity, pale brown, brown, fine to coarse gravel	400mm			D	St				
Silty CLAY (CL), low plasticity, brown, traces of fine to medium gravel	700mm	0.50		D	St				
SILTSTONE, extremely weathered, off white, pale brown	3000mm	1.00		D	VL				
	1.50								
	2.00								
	2.50								
	3.00								
BH6 terminated at 3.0 metres						Dry Hole			
	3.50								
	4.00								

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# ENGINEERING BOREHOLE LOG

Borehole no. 7  
 Sheet no. 7 of 15  
 Job no. 20C 0155

PO Box 13, Strathdale 3550  
 Ph (03) 54414881 Fax (03) 5441 5089

Client : Warringal Views P/L		Date: 2/03/2020							
Project : Geotechnical Investigation		Logged by: TP							
Location : Golden Grove Estate, Jackass Flats									
Drill model : Gemco HS7	Slope	90 deg	RL surface: <i>Not measured</i>						
Hole diameter : 100mm	Bearing	- deg	Datum :						
Material Description	Depth (m)	Graphic log	Water	Moisture condition	Consistency density, index	Structure, additional observations	Notes Samples Tests	Method	Support
FILL: Gravelly Sandy SILT (ML), dark brown, fine gravel	150 mm			D	L	FILL			
SILTSTONE, extremely weathered, pale brown, off white	3000mm			D	VL				
	0.50								
	1.00								
	1.50								
	2.00								
	2.50								
	3.00								
BH7 terminated at 3.0 metres						Dry Hole			
	3.50								
	4.00								

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## ENGINEERING BOREHOLE LOG

Borehole no. 8  
Sheet no. 8 of 15  
Job no. 20C 0155

PO Box 13, Strathdale 3550  
Ph (03) 54414881 Fax (03) 5441 5089

Client : Warringal Views P/L		Date: 2/03/2020	
Project : Geotechnical Investigation		Logged by: TP	
Location : Golden Grove Estate, Jackass Flats			
Drill model : Gemco HS7	Slope	90 deg	RL surface: <i>Not measured</i>
Hole diameter : 100mm	Bearing	- deg	Datum :

Material Description	Depth (m)	Graphic log	Water	Moisture condition	Consistency density, index	Structure, additional observations	Notes Samples Tests	Method	Support
FILL: Gravelly Silty CLAY (CL), low plasticity, brown, fine to coarse gravel	100mm			D	St	FILL			
Silty CLAY (CI), medium plasticity, red brown, traces of fine gravel	400mm			M	VSt				
SILTSTONE, extremely weathered, pale brown, yellow brown	2000mm			D	L-M				
	1.00								
	1.50								
	2.00								
BH8 terminated at 2.0 metres						By Refusal Dry Hole			
	2.50								
	3.00								
	3.50								
	4.00								

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# ENGINEERING BOREHOLE LOG

Borehole no. 9  
 Sheet no. 9 of 15  
 Job no. 20C 0155

PO Box 13, Strathdale 3550  
 Ph (03) 54414881 Fax (03) 5441 5089

Client : Warringal Views P/L		Date: 2/03/2020							
Project : Geotechnical Investigation		Logged by: TP							
Location : Golden Grove Estate, Jackass Flats									
Drill model : Gemco HS7	Slope	90 deg	RL surface: <i>Not measured</i>						
Hole diameter : 100mm	Bearing	- deg	Datum :						
Material Description	Depth (m)	Graphic log	Water	Moisture condition	Consistency density, index	Structure, additional observations	Notes Samples Tests	Method	Support
FILL:Gravelly Silty CLAY (CL), low plasticity, brown, fine to coarse gravel 100mm	0.50			D	St	FILL			
Silty CLAY (Cl), medium plasticity, red brown traces of fine gravel 400mm				M	St				
Silty CLAY (CL), low plasticity, pale brown, off white 1400mm				M	St				
SILTSTONE, extremely weathered, pale brown, off white 3000mm	1.50			D	L				
	2.00								
	2.50								
	3.00								
BH9 terminated at 3.0 metres						Dry Hole			
	3.50								
	4.00								



# ENGINEERING BOREHOLE LOG

Borehole no. 10  
 Sheet no. 10 of 15  
 Job no. 20C 0155

PO Box 13, Strathdale 3550  
 Ph (03) 54414881 Fax (03) 5441 5089

Client : Warringal Views P/L		Date: 2/03/2020							
Project : Geotechnical Investigation		Logged by: TP							
Location : Golden Grove Estate, Jackass Flats									
Drill model : Gemco HS7	Slope 90 deg	RL surface: <i>Not measured</i>							
Hole diameter : 100mm	Bearing - deg	Datum :							
Material Description	Depth (m)	Graphic log	Water	Moisture condition	Consistency density, index	Structure, additional observations	Notes Samples Tests	Method	Support
FILL: Clayey Sandy GRAVEL (GW), fine to coarse sand and gravel, pale brown, low plasticity fines 500mm	0.50			D	D	FILL			
Silty CLAY (Cl), medium plasticity, pale brown mottled pale grey 1500mm	1.00			D	VSL				
	1.50					Tree roots @ 1.0m			
Silty CLAY (Cl), low to medium plasticity, brown, some fine to medium sand 2800mm	2.00			D-M	St				
	2.50								
SILTSTONE, extremely weathered, off white 3000mm	3.00			D	VL				
BH10 terminated at 3.0 metres						Dry Hole			
	3.50								
	4.00								



## ENGINEERING BOREHOLE LOG

Borehole no. 11  
Sheet no. 11 of 15  
Job no. 20C 0155

PO Box 13, Strathdale 3550  
Ph (03) 54414881 Fax (03) 5441 5089

Client : Warringal Views P/L		Date: 2/03/2020							
Project : Geotechnical Investigation		Logged by: TP							
Location : Golden Grove Estate, Jackass Flats									
Drill model : Gemco HS7	Slope 90 deg	RL surface: <i>Not measured</i>							
Hole diameter : 100mm	Bearing - deg	Datum :							
Material Description	Depth (m)	Graphic log	Water	Moisture condition	Consistency density, index	Structure, additional observations	Notes Samples Tests	Method	Support
Gravelly Silty CLAY (CI), low to medium plasticity, brown, dark brown	1100mm			D-M	VSt	Worked Alluvial			
	0.50								
	1.00								
Sandy SILT (ML), brown	1300mm			D	MD				
Silty CLAY (CI), medium plasticity, pale brown, some fine sand	2000mm			D	VSt				
	1.50								
	2.00								
Clayey Sandy GRAVEL (GW) low plasticity, brown, fine to coarse sand, fine to medium gravel	3000mm			D	D				
	2.50								
	3.00								
BH11 terminated at 3.0 metres						Dry Hole			
	3.50								
	4.00								



## ENGINEERING BOREHOLE LOG

Borehole no. 12  
 Sheet no. 12 of 15  
 Job no. 20C 0155

PO Box 13, Strathdale 3550  
 Ph (03) 54414881 Fax (03) 5441 5089

Client : Warringal Views P/L		Date: 2/03/2020							
Project : Geotechnical Investigation		Logged by: TP							
Location : Golden Grove Estate, Jackass Flats									
Drill model : Gemco HS7	Slope	90 deg	RL surface: <i>Not measured</i>						
Hole diameter : 100mm	Bearing	- deg	Datum :						
Material Description	Depth (m)	Graphic log	Water	Moisture condition	Consistency density, index	Structure, additional observations	Notes Samples Tests	Method	Support
FILL: Silty CLAY (CI), medium plasticity, pale brown, brown, some fine to coarse sand and fine to medium gravel	600mm 0.50			D	VSt	FILL			
Sandy SILT (ML), dark grey	800mm			D	MD				
Silty CLAY (CL), low plasticity, pale brown	1200mm 1.00			D	VSt				
Silty CLAY (CI), medium plasticity, brown, some fine sand, traces of fine gravel	1900mm 1.50			D	VSt				
Sandy Silty CLAY (CL), low plasticity, brown	2300mm 2.00			D	VSt				
Clayey Sandy GRAVEL (GP), brown, fine to medium gravel, fine to coarse sand, low plasticity	3000mm 2.50			D	D				
	3.00								
BH12 terminated at 3.0 metres	3.50					Dry Hole			
	4.00								



## ENGINEERING BOREHOLE LOG

Borehole no. 13  
Sheet no. 13 of 15  
Job no. 20C 0155

PO Box 13, Strathdale 3550  
Ph (03) 54414881 Fax (03) 5441 5089

Client : Warringal Views P/L		Date: 2/03/2020							
Project : Geotechnical Investigation		Logged by: TP							
Location : Golden Grove Estate, Jackass Flats									
Drill model : Gemco HS7	Slope	90 deg	RL surface: <i>Not measured</i>						
Hole diameter : 100mm	Bearing	- deg	Datum :						
Material Description	Depth (m)	Graphic log	Water	Moisture condition	Consistency density, index	Structure, additional observations	Notes Samples Tests	Method	Support
FILL: Gravelly Sandy Silty CLAY (CI), medium plasticity, brown, pale brown	1200mm			D	F	FILL			
	0.50								
	1.00								
FILL: SAND (SW), fine to coarse, brown	1400mm			D	L	FILL			
Silty CLAY (CI), medium plasticity, brown, some fine sand	2000mm			D-M	VSt				
	2.00								
Clayey SAND (SP), fine to medium, brown, low plasticity	3000mm			D	D				
	2.50								
	3.00								
BH13 terminated at 3.0 metres						Dry Hole			
	3.50								
	4.00								







## ENGINEERING BOREHOLE LOG

Borehole no. 15  
 Sheet no. 15 of 15  
 Job no. 20C 0155

PO Box 13, Strathdale 3550  
 Ph (03) 54414881 Fax (03) 5441 5089

Client : Warringal Views P/L		Date: 2/03/2020							
Project : Geotechnical Investigation		Logged by: TP							
Location : Golden Grove Estate, Jackass Flats									
Drill model : Gemco HS7	Slope 90 deg	RL surface: <i>Not measured</i>							
Hole diameter : 100mm	Bearing - deg	Datum :							
Material Description	Depth (m)	Graphic log	Water	Moisture condition	Consistency density index	Structure, additional observations	Notes Samples Tests	Method	Support
FILL: Gravelly Silty CLAY (CL), low plasticity pale brown, fine to coarse gravel	200mm			D	VSt	FILL			
Silty CLAY (Cl), medium plasticity, brown, pale brown, some fine sand	1300mm			D-M	VSt				
	0.50					Tree roots @ 0.5m			
	1.00								
Sandy Gravelly Silty CLAY (CL), low plasticity, brown, fine to coarse sand, fine to medium gravel	2500mm			D	VSt				
	1.50								
	2.00								
	2.50								
SILTSTONE, extremely weathered, pale brown, off white	3000mm			D	L				
	3.00								
BH14 terminated at 3.0 metres						Dry Hole			
	3.50								
	4.00								



## DESCRIPTIVE TERMS BOREHOLE/EXCAVATION LOG

### Classification Symbol & Soil Name

Classification of material and its description is based on the Unified Classification System as referenced in AS1726 – 1993 Geotechnical Site Investigations, Appendix A. A summary of the more common terms is included within.

### Particle Size Descriptive Terms

Name	Subdivision	Size
Boulders		>200mm
Cobbles		63 – 200mm
Gravel	Coarse	20 – 63mm
	Medium	6 – 20mm
	Fine	2.36 – 6mm
Sand	Coarse	0.6 – 2.36mm
	Medium	200 – 600 micron
	Fine	75 – 200 micron
Silt		2 – 75 micron
Clay		< 2 micron

### Consistency of Cohesive Soils

Term	Undrained shear strength, $s_u$ (kPa)	Field Guide
Very Soft (VS)	<12	A finger can be pushed well into the soil with little effort
Soft (S)	12 – 25	A finger can be pushed into the soil to about 25mm depth
Firm (F)	25 – 50	The soil can be indented about 5mm with the thumb
Stiff (St)	50 – 100	The surface of the soil can be indented with the thumb
Very Stiff (VSt)	100 – 200	The surface of the soil can be indented by thumb nail
Hard (H)	>200	The surface of the soil can be marked only with the thumbnail
Friable (F)	-	Crumbles or powders when scraped by thumbnail

### Density of Granular Soils

Term	Density Index (%)
Very Loose (VL)	< 15
Loose (L)	15 – 35
Medium Dense (MD)	35 – 65
Dense (D)	65 – 85
Very Dense (VD)	> 85

### Minor Components

Term	Field Guide	Proportion of Minor Component in:
Trace of	Presence just detectable by feel or eye	Coarse grained soils: <5% Fine grained soils: <15%
Some	Presence easily detectable by feel or eye	Coarse grained soils: 5-12% Fine grained soils: 15-30%

### Moisture Condition

Dry (D)	Looks & feels dry. Cohesive soils are usually hard, powdery or friable. Granular soils run freely through the hand.
Moist (M)	Soil feels cool and darkened in colour. Cohesive soils can be moulded. Granular soils tend to cohere. Free water does not form.
Wet (W)	As for moist, but with free water forming on hands when remoulded.

### Method

S	Auger Screwing	W	Washboring
D	Auger Drilling	N	Natural Exposure
R	Roller/Tricone	E	Existing Excavation

### Support

B	Blade/bucket	*	Nil
C	Coring	C	Casing
H	Hammer Drill	M	Mud/polymer

### Water

*	Not observed
$\equiv$	Observed water level (date shown)
$\blacktriangleright$	Observed water inflow
$\blacktriangleleft$	Observed water outflow
R	Refer to report for details

### Notes, Samples, Tests

U63	Undisturbed sample, 63mm diameter
D	Disturbed sample
N*	Standard Penetration Test, (*) Sample Figure = results

### Structures, Additional Observations

PP	Pocket Penetrometer test (kPa)
DCP	Dynamic Cone Penetrometer test (blows/100mm)

### Surface

-----	Known boundary
- - - - -	Probably boundary
- ? - ? - ? - ? - ? -	Possible boundary

### 3. SALINITY MANAGEMENT GUIDELINES

The following Salinity Management Guidelines, prepared by Simonds Developments is endorsed by the City of Greater Bendigo in accordance with Planning Permits AM/226/2010 and AM/904/2011 for the Evergreen Waters Estate.

The Evergreen Waters Estate is the overall development of the precinct and includes the Golden Grove Estate.

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# evergreen waters

## SALINITY MANAGEMENT GUIDELINES

August 2011



## 1. INTRODUCTION

The Evergreen Waters Estate is a new residential subdivision at Jackass Flat on the northeastern outskirts of Bendigo. The development is approximately 65Ha in size and will be staged with 30 stages anticipated to be developed for the entire site. A planning permit for the development has been issued by the City of Greater Bendigo with conditions that require a Salinity Management Plan to be prepared for development areas where the water table is between 1.6m and 2.5m below ground level.

Detailed descriptions of the site characteristics, potential salinity hazard and engineering works to drain the site and control the water table are included in the report by John Leonard Consulting Service entitled "Hydrogeological Assessment - Evergreen Waters Housing Estate, Jackass Flat" (2011).

The main focus of these Salinity Management Guidelines is to protect the integrity of buildings; however, the guidelines also contain provisions to maintain the aesthetic appeal of the subdivision.

## 2. BACKGROUND

Shallow water tables in the Bendigo area have been identified in a number of studies. As a result of the findings of these studies the City of Greater Bendigo & the North Central Catchment Management Authority (NCCMA) commissioned Phil Dyson to develop Planning Guidelines for Urban Salinity (Dyson, 2007). This document included draft planning responses for developments based on depth to the water table and recommended that subdivisions not be allowed in areas with saline water tables within 1.5 m of the ground surface.

The Development Plan Overlay (DPO21) which applies to land zoned Residential 1 in the Jackass Flat New Development Area (NDA) has taken these considerations into account and now includes details to ensure that residential land is tested for salinity prior to any development occurring.

### DPO Requirements

Where there is known salinity discharge or indicators of salinity, such as the presence of Spiny Rush and Sea Barley Grass, a Salinity/Water Management Plan is to be prepared by a suitably qualified hydro-geologist to the satisfaction of the Responsible Authority in consultation with the Department of Sustainability and Environment that addresses, but is not limited to, the following matters:

- A desktop assessment and field survey of the geology and geomorphology of the site to ascertain the nature of groundwater flows.
- An assessment of the likely hydro-geological performance having regard to the impact of salinity.
- An indicative assessment of the extent of the salinity issues and the post development risk it imposes.
- The depth to the watertable and salinity of the groundwater in the region of the proposed development.

- Recommendations regarding the management and future use of areas identified as being susceptible to salinity.
- An Implementation Plan outlining any works necessary to implement such recommendations.

### 3. SALINITY TESTING RESULTS

An extensive groundwater monitoring and testing program was carried out over the period October 2010 to April 2011 which is detailed in the report by John Leonard Consulting Service entitled "Hydrogeological Assessment - Evergreen Waters Housing Estate, Jackass Flat" (April 2011) confirms that if construction guidelines are followed, the designed site conditions will be able to:

1. Achieve a minimum clearance of 1.5 m to groundwater level from the minimum design surface level everywhere across the development, and
2. Provide an effective barrier (preferred flow zone and capillary break) to any potential rise of groundwater.

The assessment indicated that the groundwater beneath the Evergreen Waters site is mostly non-aggressive or mildly aggressive to concrete and nonaggressive to steel. The soil chemistry test results and assessed aggressiveness to concrete indicate that the soils at Evergreen Waters would not be aggressive to concrete it is recommended that plants of more salt tolerant, drought resistant species should be encouraged across the Evergreen Waters site.

### 4. CAUSES OF URBAN SALINITY

Salinity is generally the result of changes in land use that cause increased groundwater recharged. Where the increased recharge is not matched by a commensurate increase in groundwater discharge, the water tables can rise to near the land surface, where discharge occurs by evapotranspiration. Evaporation from the shallow watertable concentrates the naturally occurring salts in the groundwater and soils, leading to salinisation. As the near surface groundwater evaporates, salts are concentrated in the groundwater and can crystallise in the soil and on or within building materials, and can cause physical stress on metal and concrete structures and vegetation.

### 5. EFFECTS OF SALINITY IN AN URBAN ENVIRONMENT

Excess salinity in an urban environment can result in significant problems. It can manifest itself in a number of ways. The effects of salinity can be observed in damage to building materials, infrastructure and roads and in death or poor health of vegetation. The effect of urban salinity is the result of both physical and chemical actions of the salt on concrete, bricks and metals. Salt moves into the pores of concrete and bricks and becomes concentrated when the water evaporates and can result in breakdown of materials and corrosion. Evidence of this may include crumbling, eroding or powdering of mortar or bricks, flaking of brick facing and cracking or corrosion of bricks.

High levels of salinity can result in damage to and even death of plants. Signs that vegetation is under stress from salinity include the discolouration and wilting of leaves and the death of less salt tolerant plant species. It may also be hard to establish lawns in areas that are subject to high salinity.

## 6. MEASURES FOR SPECIFIC ASSETS

The Building Code of Australia (BCA) contains the required technical standards for building construction in Australia. The goal of the BCA is to achieve the minimum necessary standards that are nationally consistent to ensure health, safety (including structural safety and safety from fire), amenity and sustainability objectives are met. Where building and construction regulations are the authority of the State and Territory governments in Australia, the BCA is given power to cover technical aspects of building construction through individual State and Territory enacting legislation.

As a performance based code, the BCA requires that the construction industry is able to provide practical, safe and enduring buildings that are fit for their desired purposes. Within this framework, the BCA has performance requirements ensuring that buildings are not unduly susceptible to environmental elements, such as soil moisture and salinity. It is through these performance requirements that the BCA ensures there are adequate means to maintain structural protection against soil moisture and salinity damage.

Provisions to protect buildings from the effects of saline intrusion and saline soils in the BCA are incorporated in the provisions for 'Damp and Weatherproofing' in Volume One and 'Concrete and Reinforcing' and 'Weatherproofing of Masonry' in Volume Two. These provisions ensure that buildings are protected from rising moisture in soils, as well as ensuring that concrete footings and brickwork are sufficiently resistant to degradation from environmental moisture and salinity.

The key elements from these documents and a number of other technical documents (listed in Section 7) have been summarised below based on the non-aggressive/mildly aggressive exposure rating that is deemed to apply to the site.

### Construction of Dwellings

The following measures are to be used for all buildings at Evergreen Waters:

- A layer of sand followed by a membrane of thick plastic should be placed under the concrete slab to act as a moisture barrier and drainage layer to restrict capillary rise under the slab. Membranes should be extended to the outside face of the external edge beam up to the finished ground level.
- Concrete grade of at least N25 and minimum 50 mm reinforcement cover is suitable for the site as salinity test indicate the site is moderately saline at worst.
- It is essential that in all masonry buildings that a brick damp course be properly installed so that it cannot be bridged either internally or externally. This will prevent moisture moving into brick work and up the wall. It is important that the damp proof course is not breached by later additions to the building.
- As there are various exposure classifications and durability ratings for the wide range of masonry available, reference should be made to the supplier in choosing suitable bricks with the appropriate exposure quality. Water proofing agents can also be added to mortar to further restrict potential water movement.
- Cure concrete for at least seven days to ensure a hard dense surface that reduces saline water infiltration.
- Other alternatives such as suspended slab or pier & beam construction could be considered to minimise exposure.



### Measures For Residents To Help Reduce Salinity

Other measures that residents can implement to decrease any potential salinity hazard include:

- Revegetate and provide surface drainage to their lot as quickly as practical.
- Reduce the amount of water applied to gardens to minimise adding to groundwater levels.
- Use a timer and drip irrigation system to limit leakage into the groundwater system.
- Retain and/or establish salt tolerant water efficient native plants.
- Maintain good drainage around the house. Use permeable paving where practical.
- Keeping lawn areas to a minimum.
- Mulch gardens to reduce the need to water.
- Provide adequate falls to the street to allow runoff of water, and to prevent water ponding, and waterlogging.
- Ensure stormwater pipes, water mains and sewers are sealed properly to prevent leaking and fix any leaking pipes immediately.
- Install a plastic membrane behind retaining walls to prevent seepage from behind.
- Line water bodies to minimise discharge of water into the groundwater system.

## 7. REFERENCES AND FURTHER READING

### *Australian Building Code Board*

- ABCB. (2004). Buildings Code of Australia. Australian Building Control Board.
- ABCB. (2004). Buildings Subject to Attack from Salt and Acid Sulphate Soils – Discussion Paper. Australian Building Control Board. August 2004.
- ABCB (2007). Salinity Consultation Paper. Australian Building Control Board May 2007.
- CIE (2010). Proposal to amend the Building Code of Australia to include mitigation against the effects of Saline soils. Consultation Regulation Impact Statement (RIS 2010-02) Prepared for the Australian Building Control Board by the Centre for International Economics, Canberra. June 2010.

### *Australian Standards*

- AS 1547-2000 On Site Domestic Waste Water Management, Standards Australia.
- AS 2159-2009 Piling - Design and installation. Standards Australia.
- AS 2870-1996 Residential Slabs and Footings, Standards Australia.
- AS 3600- 2001 Concrete Structures, Standards Australia.
- AS 3700- 2001 Masonry Structures, Standards Australia.
- AS 3798-1996 Guidelines for Earthworks for Commercial and Residential Developments, Standards Australia.
- AS 4419-1998 Soils for Landscaping and Garden Use. Standards Australia.
- AS 4456.6-1997 Masonry Units and Segmental Pavers - Methods of Test Determining Potential to Effloresce. Standards Australia.
- AS 4456.10-1997 Masonry Units and Segmental Pavers - Method of Determining Resistance to Salt Attack. Standards Australia.

### *Buildings*

- Guide to Residential Slabs and Footings in Saline Environments. Cement Concrete & Aggregates Australia. 2005.
- Building in a Saline Environment. Local Government Salinity Initiative Booklet No. 5. Department of Infrastructure Planning and Natural Resources, Sydney, 2003. ISBN: 0 7347 5375 6.
- Building in a Saline Environment Urban Salinity Prevention. Wagga Wagga City Council, October 1999.
- Development Control Plan No. 16. Building in a Saline Environment. Junee Shire. July 2004.
- EnPlan Partners. (2007). Standards for building in a saline environment. – Construction of Dwelling and Outbuildings. Prepared for the Corangamite Catchment Authority with the City of Ballarat, City of Greater Geelong, Borough of Queenscliffe and the Moorabool Shire by EnPlan Partners. November, 2007.

- O’Caoimh, E. (2007). Building in a Saline Environment – An Awareness Course. NSW State Government. ISBN 978 7347 5970 2.
- Blacktown City Council Growth Centre Precincts Development Control Plan 2010. - Appendix C Salinity Management Guidelines. NSW Government Department of Planning May 2010.

#### *Gardens*

- Waterwise Parks and Gardens. Local Government Salinity Initiative - Booklet No. 7. Department of Infrastructure, Planning and Natural Resources, Sydney, 2004. ISBN: 978 7347 5415 9.
- NSW Department of Planning (2010). Blacktown City Council Growth Centre Precincts Development Control Plan 2010. NSW Government Planning

#### *General*

- Good Housekeeping to Manage Urban Salinity. (undated). WSROC, DIPNR and the Natural Heritage Trust with the assistance of Wagga City Council and the Department of Natural Resources of South Australia.

Template Vendor Statement  
which may be subject to variations and amendments

## Property Report from [www.land.vic.gov.au](http://www.land.vic.gov.au) on 17 July 2020 11:26 AM

Address: LANCASTER DRIVE JACKASS FLAT 3556

Lot and Plan Number: Lot C PS810190

Standard Parcel Identifier (SPI): CIPS810190

Local Government (Council): GREATER BENDIGO Council Property Number: 252892

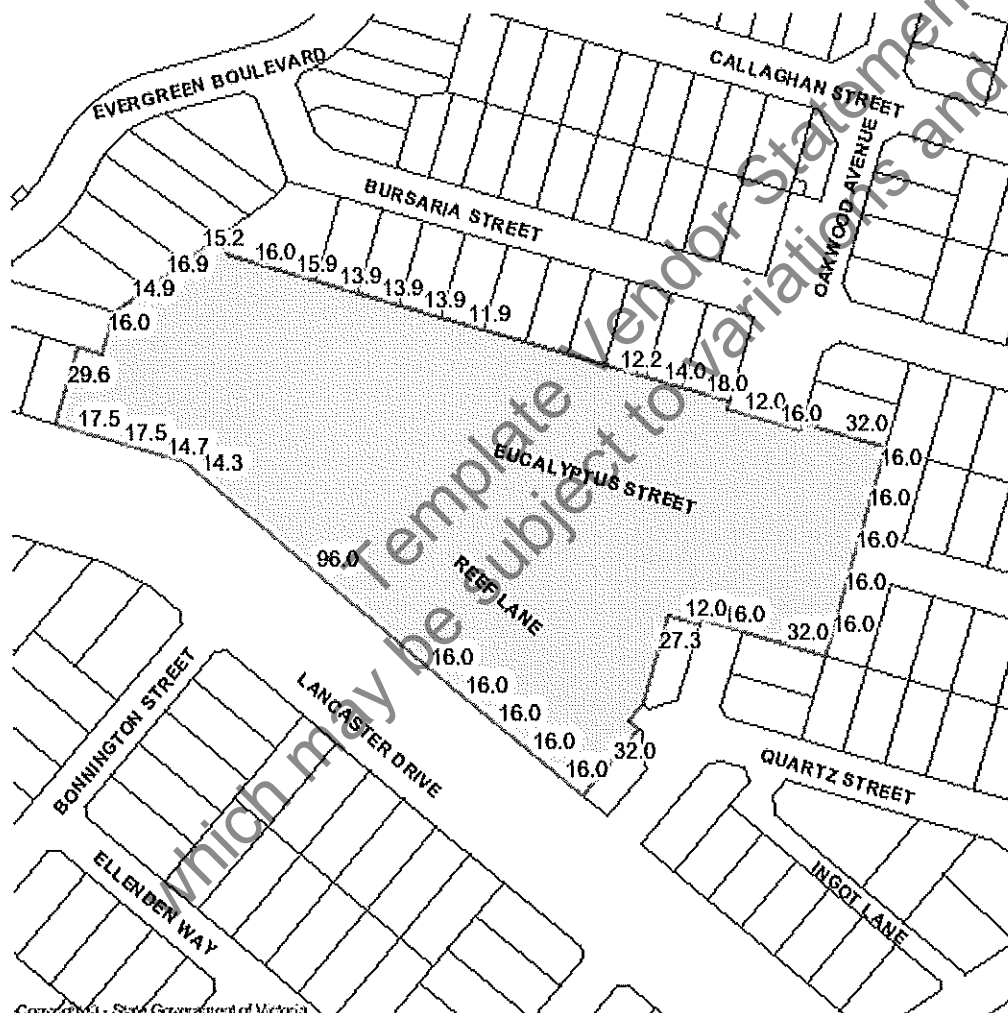
Directory Reference: VicRoads 603 S7

This property is in a designated bushfire prone area. Special bushfire construction requirements apply. Planning provisions may apply.

Further information about the building control system and building in bushfire prone areas can be found in the Building Commission section of the Victorian Building Authority website [www.vba.vic.gov.au](http://www.vba.vic.gov.au)

### Site Dimensions

All dimensions and areas are approximate. They may not agree with the values shown on a title or plan.



Area: 29618 sq. m

(3.0 ha)

Perimeter: 828 m

For this property:

- Site boundaries
- Road frontages

Dimensions for individual parcels require a separate search, but dimensions for individual units are generally not available.

21 dimensions shorter than 10m not displayed

Calculating the area from the dimensions shown may give a different value to the area shown above - which has been calculated using all the dimensions.

For more accurate dimensions get copy of plan at [Title and Property Certificates](#)

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Disclaimer: This content is provided for information purposes only. No claim is made as to the accuracy or authenticity of the content. The Victorian Government does not accept any liability to any person for the information provided. Read the full disclaimer at [www.land.vic.gov.au/home/copyright-and-disclaimer](http://www.land.vic.gov.au/home/copyright-and-disclaimer)

## State Electorates

Legislative Council: NORTHERN VICTORIA

Legislative Assembly: BENDIGO EAST

## Utilities

Rural Water Corporation: Goulburn-Murray Water

Urban Water Corporation: Coliban Water

Melbourne Water: outside drainage boundary

Power Distributor: POWERCOR (Information about [choosing an electricity retailer](#))

## Planning Zone Summary

Planning Zone: [GENERAL RESIDENTIAL ZONE \(GRZ\)](#)  
[SCHEDULE TO THE GENERAL RESIDENTIAL ZONE \(GRZ\)](#)

Planning Overlays: [BUSHFIRE MANAGEMENT OVERLAY \(BMO\)](#)  
[DEVELOPMENT PLAN OVERLAY \(DPO\)](#)  
[DEVELOPMENT PLAN OVERLAY - SCHEDULE 21 \(DPO21\)](#)

## Areas of Aboriginal Cultural Heritage Sensitivity:

All or part of this property is an 'area of cultural heritage sensitivity'

Planning scheme data last updated on 15 July 2020.

A **planning scheme** sets out policies and requirements for the use, development and protection of land.

This report provides information about the zone and overlay provisions that apply to the selected land.

Information about the State and local policy, particular, general and operational provisions of the local planning scheme that may affect the use of this land can be obtained by contacting the local council or by visiting [Planning Schemes Online](#)

This report is NOT a **Planning Certificate** issued pursuant to Section 199 of the *Planning and Environment Act 1987*.

It does not include information about exhibited planning scheme amendments, or zonings that may apply to the land.

To obtain a Planning Certificate go to [Titles and Property Certificates](#)

The Planning Property Report includes separate maps of zones and overlays

For details of surrounding properties, use this service to get the Reports for properties of interest

To view planning zones, overlay and heritage information in an interactive format visit [Planning Maps Online](#)

For other information about planning in Victoria visit [www.planning.vic.gov.au](http://www.planning.vic.gov.au)

## Areas of Aboriginal Cultural Heritage Sensitivity

'Areas of cultural heritage sensitivity' are defined under the Aboriginal Heritage Regulations 2018, and include registered Aboriginal cultural heritage places and land form types that are generally regarded as more likely to contain Aboriginal cultural heritage.

Under the Aboriginal Heritage Regulations 2018, 'areas of cultural heritage sensitivity' are one part of a two part trigger which require a 'cultural heritage management plan' be prepared where a listed 'high impact activity' is proposed.

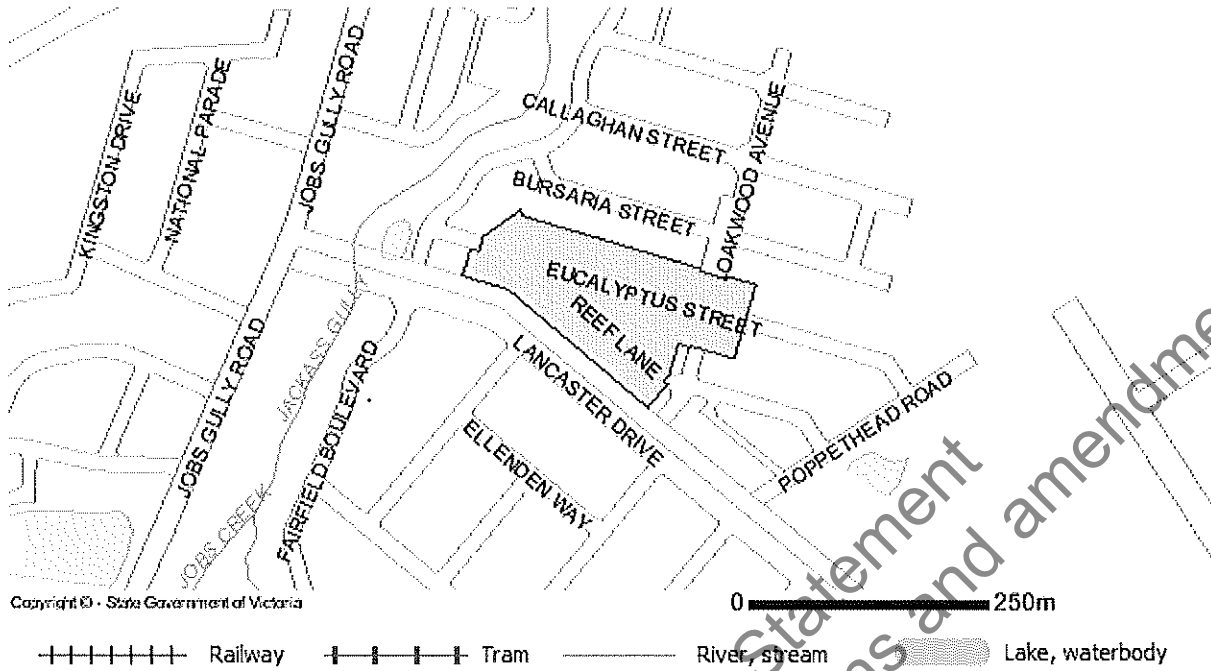
If a significant land use change is proposed (for example, a subdivision into 3 or more lots), a cultural heritage management plan may be triggered. One or two dwellings, works ancillary to a dwelling, services to a dwelling, alteration of buildings and minor works are examples of works exempt from this requirement.

Under the Aboriginal Heritage Act 2006, where a cultural heritage management plan is required, planning permits, licences and work authorities cannot be issued unless the cultural heritage management plan has been approved for the activity.

For further information about whether a Cultural Heritage Management Plan is required go to <http://www.aav.nrms.net.au/aavQuestion1.aspx>

More information, including links to both the Aboriginal Heritage Act 2006 and the Aboriginal Heritage Regulations 2018, can also be found here - <https://www.vic.gov.au/aboriginalvictoria/heritage/planning-and-heritage-management-processes.html>

Area Map



Template Vendor Statement  
which may be subject to variations and amendments

# PLANNING PROPERTY REPORT



Environment,  
Land, Water  
and Planning

From [www.planning.vic.gov.au](http://www.planning.vic.gov.au) at 20 July 2020 09:50 PM

## PROPERTY DETAILS

Address: **LANCASTER DRIVE JACKASS FLAT 3556**  
 Lot and Plan Number: **Lot C PS810190**  
 Standard Parcel Identifier (SPI): **C\PS810190**  
 Local Government Area (Council): **GREATER BENDIGO**  
 Council Property Number: **252892**  
 Planning Scheme: **Greater Bendigo**  
 Directory Reference: **Vicroads 603 S7**

[www.bendigo.vic.gov.au](http://www.bendigo.vic.gov.au)

[Planning Scheme - Greater Bendigo](#)

## UTILITIES

Rural Water Corporation: **Goulburn-Murray Water**  
 Urban Water Corporation: **Coliban Water**  
 Melbourne Water: **Outside drainage boundary**  
 Power Distributor: **POWERCOR**

[View location in VicPlan](#)

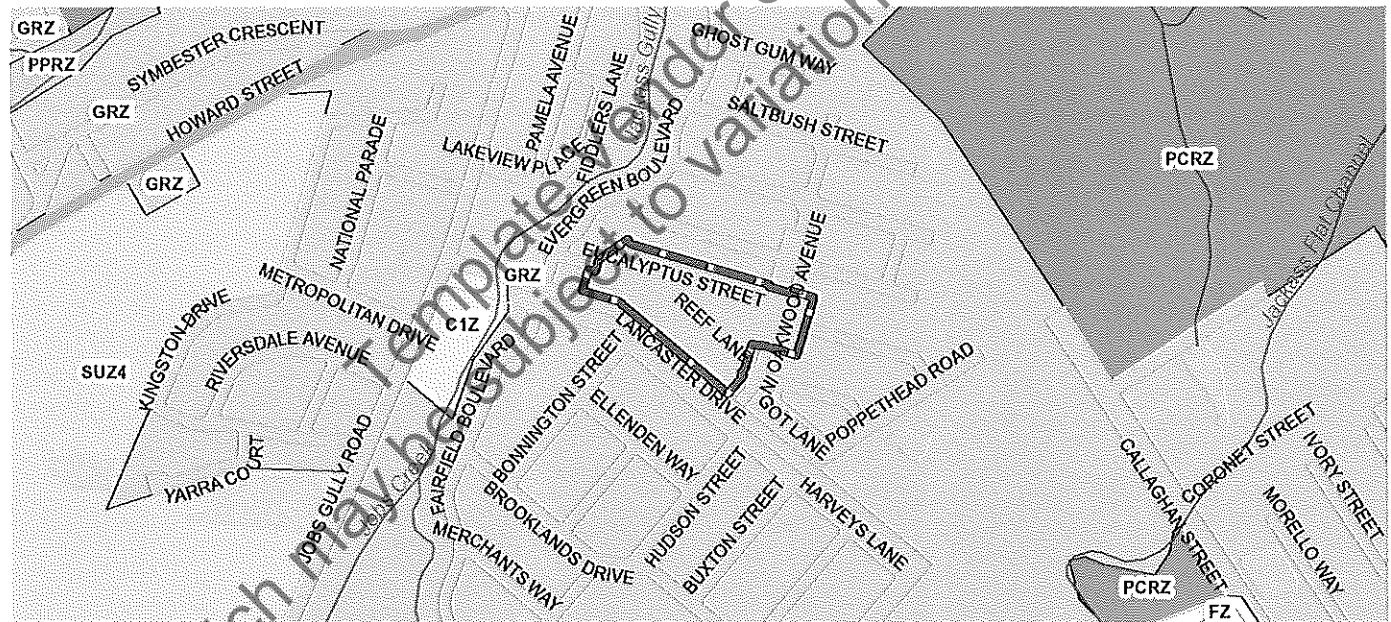
## STATE ELECTORATES

Legislative Council: **NORTHERN VICTORIA**  
 Legislative Assembly: **BENDIGO EAST**

## Planning Zones

[GENERAL RESIDENTIAL ZONE \(GRZ\)](#)

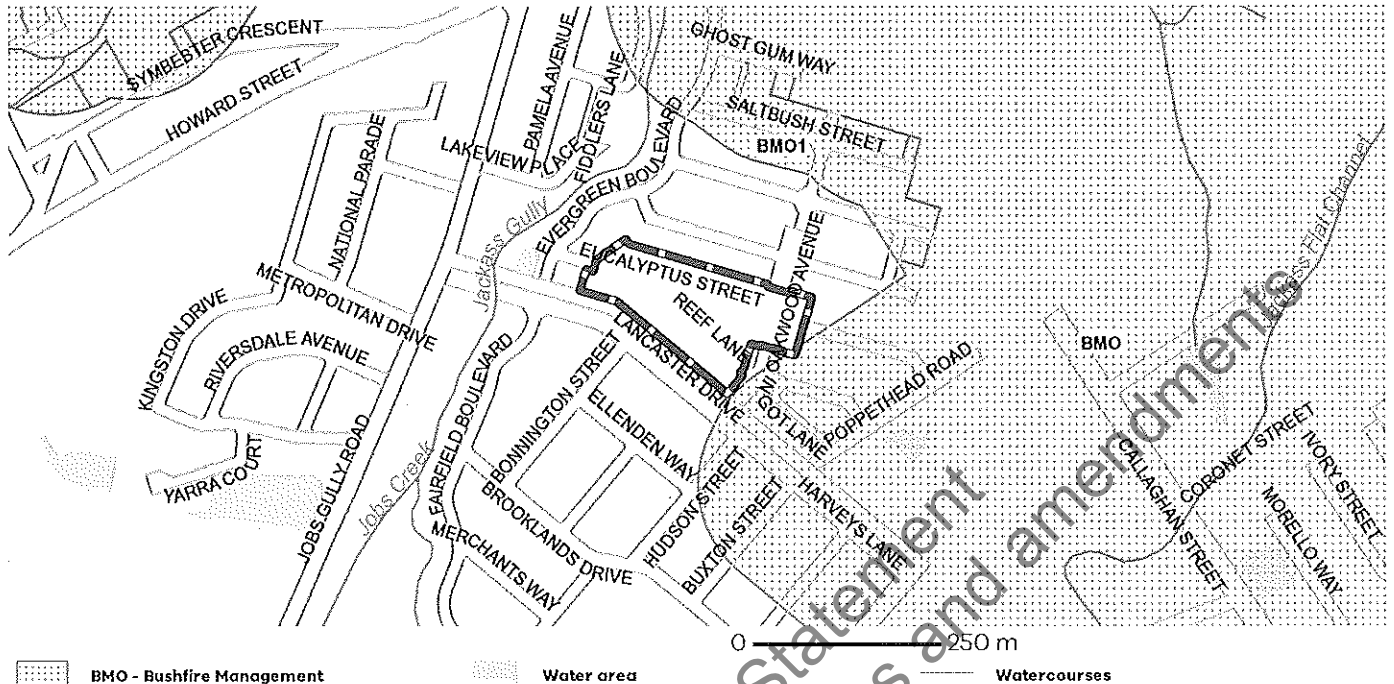
[SCHEDULE TO THE GENERAL RESIDENTIAL ZONE \(GRZ\)](#)




Note: labels for zones may appear outside the actual zone - please compare the labels with the legend.

## Planning Overlays

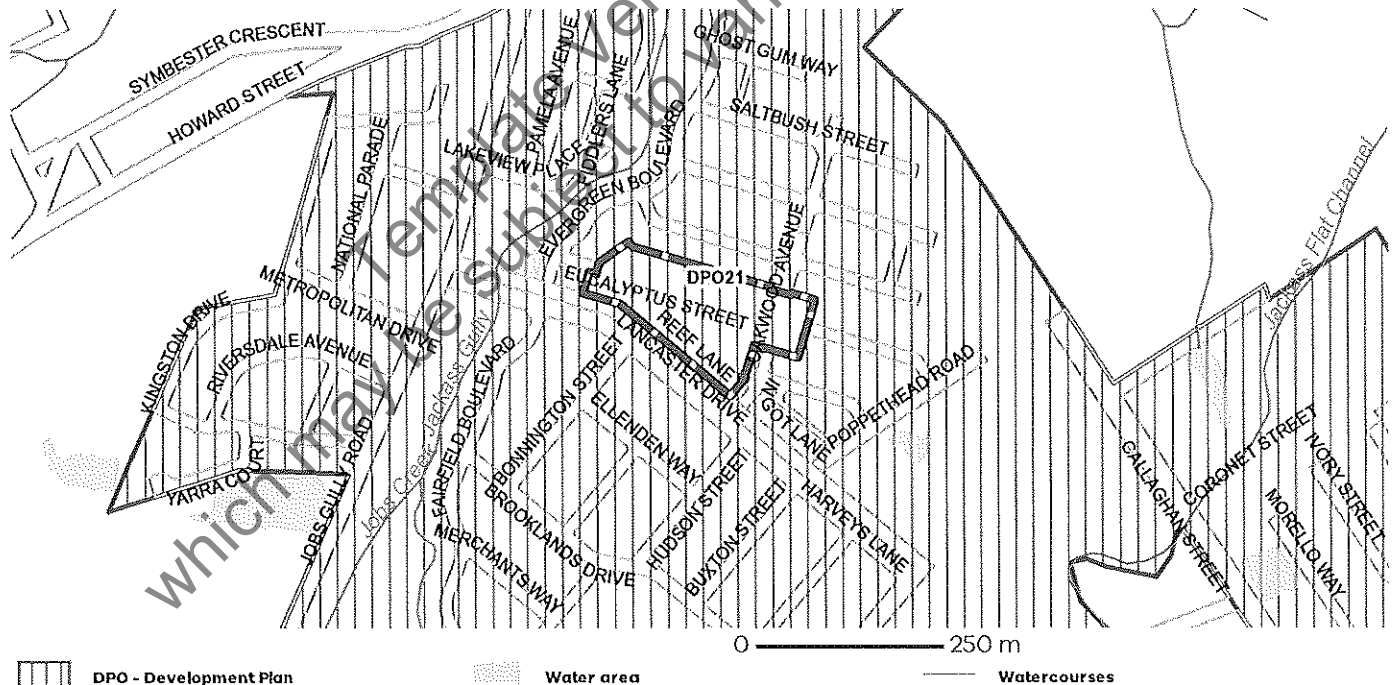
### BUSHFIRE MANAGEMENT OVERLAY (BMO)



Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend

### DEVELOPMENT PLAN OVERLAY (DPO)

#### DEVELOPMENT PLAN OVERLAY - SCHEDULE 21 (DPO21)



Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend



## Planning Overlays

### OTHER OVERLAYS

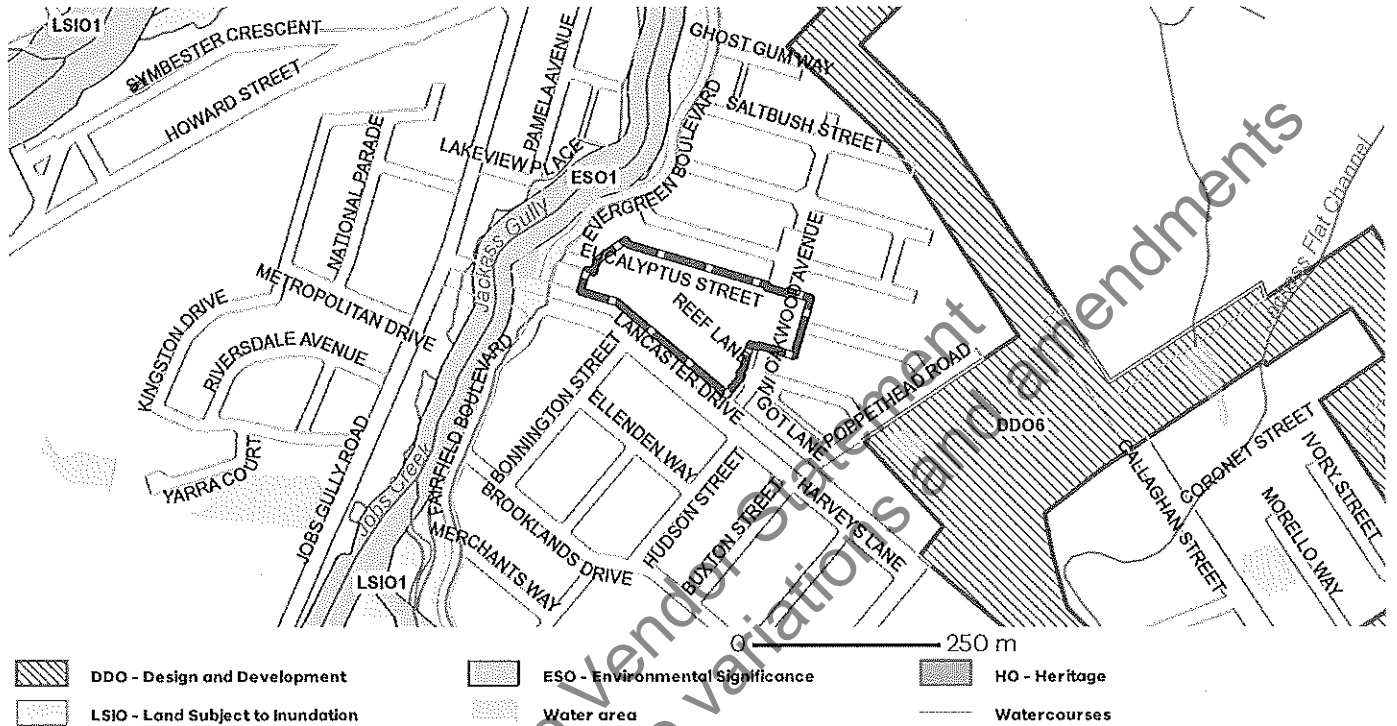
Other overlays in the vicinity not directly affecting this land

DESIGN AND DEVELOPMENT OVERLAY (DDO)

ENVIRONMENTAL SIGNIFICANCE OVERLAY (ESO)

HERITAGE OVERLAY (HO)

LAND SUBJECT TO INUNDATION OVERLAY (LSIO)



Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend

Template Vendor Statement and amendments  
which may be subject to variations and amendments

## Areas of Aboriginal Cultural Heritage Sensitivity

All or part of this property is an 'area of cultural heritage sensitivity'.

'Areas of cultural heritage sensitivity' are defined under the Aboriginal Heritage Regulations 2018, and include registered Aboriginal cultural heritage places and land form types that are generally regarded as more likely to contain Aboriginal cultural heritage.

Under the Aboriginal Heritage Regulations 2018, 'areas of cultural heritage sensitivity' are one part of a two part trigger which require a 'cultural heritage management plan' be prepared where a listed 'high impact activity' is proposed.

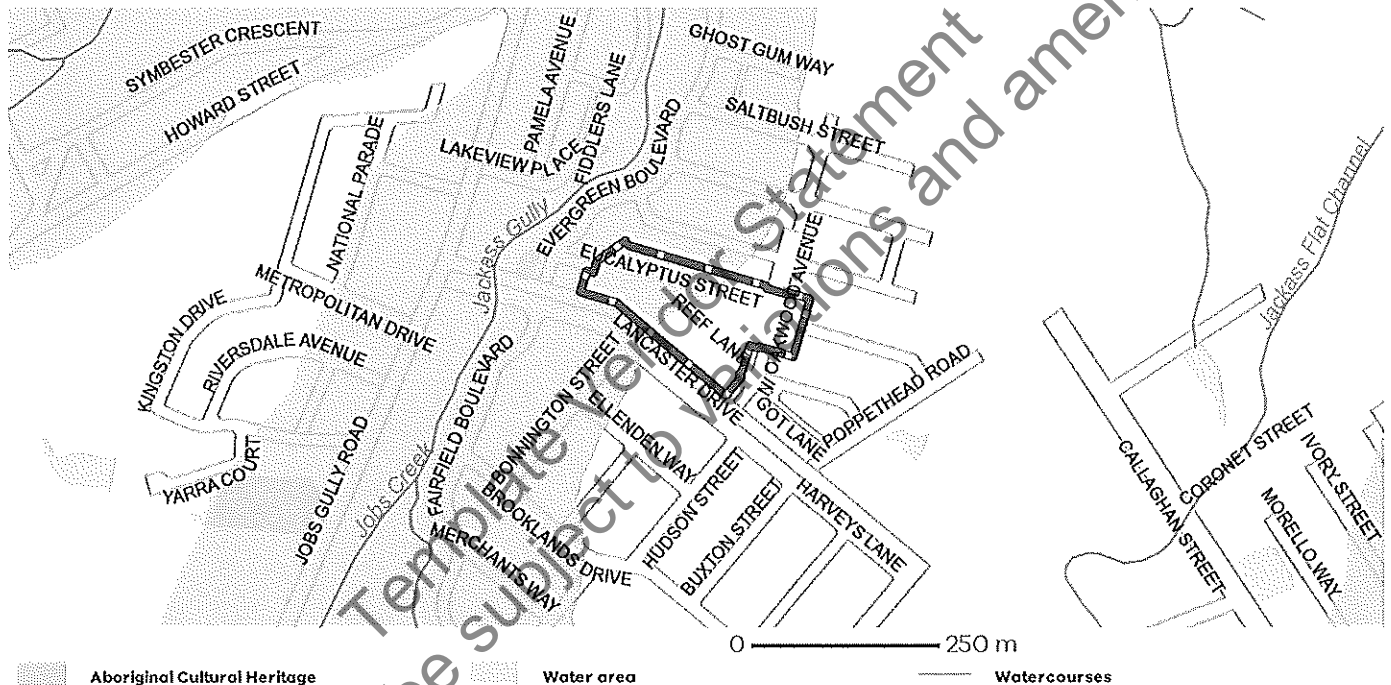
If a significant land use change is proposed (for example, a subdivision into 3 or more lots), a cultural heritage management plan may be triggered. One or two dwellings, works ancillary to a dwelling, services to a dwelling, alteration of buildings and minor works are examples of works exempt from this requirement.

Under the Aboriginal Heritage Act 2006, where a cultural heritage management plan is required, planning permits, licences and work authorities cannot be issued unless the cultural heritage management plan has been approved for the activity.

For further information about whether a Cultural Heritage Management Plan is required go to

<http://www.gov.nrms.net.au/govQuestion1.aspx>

More information, including links to both the Aboriginal Heritage Act 2006 and the Aboriginal Heritage Regulations 2018, can also be found here - <https://www.aboriginalvictoria.vic.gov.au/aboriginal-heritage-legislation>



## Further Planning Information

Planning scheme data last updated on 15 July 2020.

A **planning scheme** sets out policies and requirements for the use, development and protection of land. This report provides information about the zone and overlay provisions that apply to the selected land. Information about the State and local policy, particular, general and operational provisions of the local planning scheme that may affect the use of this land can be obtained by contacting the local council or by visiting <https://www.planning.vic.gov.au>

This report is NOT a **Planning Certificate** issued pursuant to Section 199 of the **Planning and Environment Act 1987**. It does not include information about exhibited planning scheme amendments, or zonings that may affect the land. To obtain a Planning Certificate go to Titles and Property Certificates at Landata - <https://www.landata.vic.gov.au>

For details of surrounding properties, use this service to get the Reports for properties of interest.

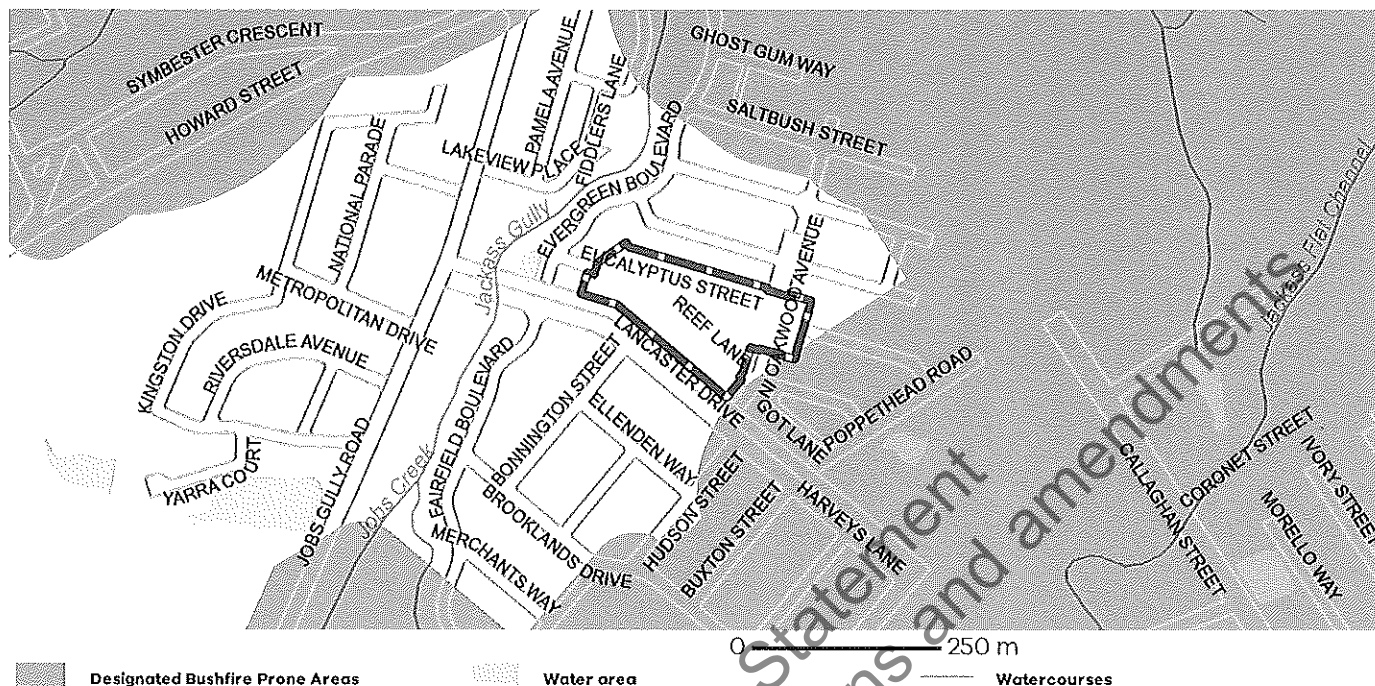
To view planning zones, overlay and heritage information in an interactive format visit <https://mapshare.maps.vic.gov.au/vicplan>

For other information about planning in Victoria visit <https://www.planning.vic.gov.au>

Template Vendor Statement  
which may be subject to variations and amendments

## Designated Bushfire Prone Areas

This property is in a designated bushfire prone area. Special bushfire construction requirements apply. Planning provisions may apply.



Designated bushfire prone areas as determined by the Minister for Planning are in effect from 8 September 2011 and amended from time to time.

The Building Regulations 2018 through application of the Building Code of Australia, apply bushfire protection standards for building works in designated bushfire prone areas.

Designated bushfire prone areas maps can be viewed on VicPlan at <https://mapshare.maps.vic.gov.au/vicplan> or at the relevant local council.

Note: prior to 8 September 2011, the whole of Victoria was designated as bushfire prone area for the purposes of the building control system.

Further information about the building control system and building in bushfire prone areas can be found on the Victorian Building Authority website <https://www.vba.vic.gov.au>

Copies of the Building Act and Building Regulations are available from <http://www.legislation.vic.gov.au>

For Planning Scheme Provisions in bushfire areas visit <https://www.planning.vic.gov.au>

# CITY OF GREATER BENDIGO

## Land Information Certificate

PO Box 733  
BENDIGO 3552

Telephone: 03 5434 6000  
Facsimile: 03 5434 6200

Landata  
PO Box 500  
EAST MELBOURNE VIC 3002

Your Reference: 39093256-012-4:48323

This Certificate is issued under Section 229 of the Local Government Act 1989. The Rates & Charges for the year ending 30 June 2021 became payable on 1 July 2020. Overdue rates attract interest at the rate of 10.0% per annum.

PROPERTY ADDRESS: 3 Evergreen Boulevard, JACKASS FLAT 3556  
PARCEL DETAILS: Lot 24-46, B & C PS 810190B and Lot A PS 748508Q  
Lot C PS 810190B not separately rated  
Total Area: 14.3549 ha

ASSESSMENT NUMBER 204486 5

Site Value	\$630,000	Level of Valuation Date	01-Jan-2020
Capital Improved Value	\$630,000	Valuation Operative Date	01-Jul-2020
Net Annual Value	\$31,500	Basis of Rate Calculation	C.I.V.

RATES & CHARGES	CURRENT AMOUNT LEVIED
General Rates	\$3,093.60
Fire Services Property Levy	\$147.00
	\$
<b>TOTAL LEVIED</b>	<b>\$3,240.60</b>
Arrears Outstanding	\$0.00
Current Legal Costs Outstanding	0.00
Arrears Legal Costs Outstanding	0.00
Interest to Date	\$0.00
<b>TOTAL OUTSTANDING</b>	<b>\$3,240.60</b>

Other Property Debt -	\$0.00
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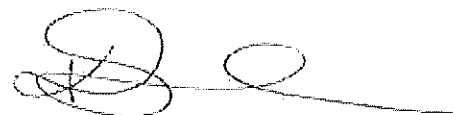
**Total Outstanding For Property \$3,240.60**

This property is subject to a Supplementary Valuation which may affect the amounts on this certificate.

Please note that the amounts stated on this certificate are approximate only and subject to change until the 2020/2021 budget is adopted and Rates & Charges are generated.

Note: In accordance with Section 175(1) of the Local Government Act 1989, all outstanding rates and charges MUST be paid by the Purchaser when that person becomes the owner of the land.

## Refer to the back of this Certificate for Prescribed, General and Other Information.  
108696  
22 July 2020



KATELYN STONE  
SENIOR COORDINATOR RATES & VALUATIONS  
Please note new Biller Code for BPAY payments



Biller Code: 268813  
Ref: 2044865

## PRESCRIBED INFORMATION

This Certificate PROVIDES information regarding valuation, rates, charges, other moneys owing and any orders and notices made under the Local Government Act 1989, the Local Government Act 1958 or under a local law of the Council.

This Certificate IS NOT REQUIRED to include information regarding planning, building, health, land fill, land slip, flooding information or service easements. Information regarding these matters may be available from Council or the relevant Authority. A fee may be charged for such information.

## GENERAL INFORMATION

There is no potential liability, other than any which may be shown on the front of this certificate, for rates under the Cultural & Recreational Lands Act 1963.

There is no outstanding amount, other than any which may be shown on the front of this Certificate, required to be paid for recreational purposes or any transfer of land required to the Council for recreational purposes under Section 18 of the Subdivision Act 1988 or the Local Government Act 1958.

There are no monies owed, other than any which may be shown on the front of this certificate, under Section 227 of the Local Government Act 1989.

At the date of this Certificate, there are no notices or orders on the land that have continuing application under the Local Government Act 1958, Local Government Act 1989 or under a local law or by law of the Council, other than any which may be shown on the front of this certificate.

Confirmation of the existence of any Housing Act 1983 Orders can be made by contacting Environmental Health & Local Laws at the City of Greater Bendigo, P O Box 733, Bendigo 3552, Telephone 03 54346000.

There is no money owed in relation to the land under section 94(5) of the Electricity Industry Act 2000.

There is not any environmental upgrade charge in relation to the land which is owed under Section 181C of the Act.

The amounts shown on the front of this certificate includes any levy amount specified as being due in an assessment notice in relation to the land under Section 25 of the Fire Services Property Levy Act 2012.

## OTHER INFORMATION

Payment of rates in full is required by 15 February, 2021

If the rates on this property are being paid by instalments, the due dates for the instalments are:

<i>1st instalment, 30 September 2020</i>	<i>2nd instalment, 30 November 2020</i>
<i>3rd instalment, 01 March 2021</i>	<i>4th instalment, 31 May 2021</i>

Interest will be charged on payments received after the due dates at the rate of 10.0% p.a. This applies to both full payment and instalments.

This certificate is valid for 60 days from the date of issue. Amounts outstanding may vary if payments/adjustments are made after the issue date. It is the responsibility of the applicant to obtain an update prior to settlement.

After the issue of this certificate, Council may be prepared to provide a verbal update of the information to the applicant about the matters disclosed in this certificate, but if it does so, Council accepts no responsibility whatsoever for the accuracy of the verbal information given and no employee of the Council is authorised to bind Council by the giving of such verbal information. Updates will only be provided to the applicant. Please also note that updates will not be provided after the 60 day period has passed, a new certificate will be required.

# Land Tax Clearance Certificate

Land Tax Act 2005



INFOTRACK / J & K LAW

Your Reference: 203123  
Certificate No: 39485881  
Issue Date: 17 JUL 2020  
Enquiries: ESYSPROD

Land Address: LANCASTER DRIVE JACKASS FLAT VIC 3556

Land Id	Lot	Plan	Volume	Folio	Tax Payable
45512735	C	810190	12214	851	\$0.00

Vendor: AITKEN UNIT TRUST  
Purchaser: FOR INFORMATION PURPOSES

Current Land Tax	Year	Taxable Value	Proportional Tax	Penalty/Interest	Total
AITKEN UNIT TRUST	2020	\$212,207	\$1,616.24	\$0.00	\$0.00

Comments: Land Tax of \$1,616.24 has been assessed for 2020, an amount of \$1,616.24 has been paid.

Current Vacant Residential Land Tax	Year	Taxable Value	Proportional Tax	Penalty/Interest	Total
-------------------------------------	------	---------------	------------------	------------------	-------

Comments:

Arrears of Land Tax	Year	Proportional Tax	Penalty/Interest	Total
---------------------	------	------------------	------------------	-------

This certificate is subject to the notes that appear on the reverse. The applicant should read these notes carefully.

Paul Broderick  
Commissioner of State Revenue

CAPITAL IMP VALUE:	\$0
SITE VALUE:	\$212,207
AMOUNT PAYABLE:	\$0.00

# Notes to Certificates Under Section 105 of the *Land Tax Act 2005*

Certificate No: 39485881

1. Under Section 96 of the *Land Tax Act 2005* (the Act), unpaid land tax (including special land tax and vacant residential land tax) is a first charge on the land to which it relates and should the vendor default, payment will be obtained from the purchaser. The purchaser should take into account the possibility that the vendor may default where land tax has been assessed but not paid.
2. A purchaser who has obtained a Certificate is only liable to a charge on the land to the amount of unpaid land tax as certified by a Certificate. A purchaser must obtain the Certificate from the Commissioner. They cannot rely on the Certificate obtained by the vendor.
3. If land tax (including special land tax and vacant residential land tax) is due but not paid on a property, the Land Tax Clearance Certificate will certify the amount of land tax due and payable on that land. This amount will be binding on the Commissioner of State Revenue (the Commissioner) for purposes of section 96 of the Act whether or not it is paid to the State Revenue Office (SRO) on, or shortly after, settlement.
4. The amount of land tax on this certificate relates to the amount of land tax (including special land tax and vacant residential land tax) due and payable as at the date of the application only and not to any future liability or the tax status of the land.
5. A 'Nil' Land Tax Clearance certificate does not mean that the land on the certificate is exempt from land tax or vacant residential land tax.
6. If land tax (including special land tax or vacant residential land tax) will be payable on a property but payment is not due at the time the application is processed, the certificate will certify the amount that should be retained by the purchaser at settlement and remitted to the SRO. The Commissioner will consider himself bound by this amount against the purchaser, only if the amount is remitted to the SRO.
7. If the amount in 4. (above) is understated, the Commissioner has the right to seek recovery of the correct amount, or the balance, as the case may be, from the:
  - a. vendor, or
  - b. purchaser, if the vendor defaults and the certified amount has not been remitted to the SRO.
8. If an amount is certified in respect of a proposed sale which is not completed, the Commissioner will not be bound by the same amount in respect of a later sale of the subject land - another certificate must be applied for in respect of that transaction.
9. If an amount certified is excessively high (for example, because an exemption or concession has not been deducted in calculating the amount) the Commissioner will issue an amended certificate, without an additional fee being charged on receipt of sufficient evidence to that effect from the vendor.
10. If no land tax (including special land tax or vacant residential land tax) is stated as being payable in respect of the property, the Commissioner will consider himself bound by that certification, in respect of the purchaser, if the land is subsequently found to be taxable and the vendor defaults.
11. If the vendor refuses to be bound by an amount stated by the Commissioner and does not agree to the amount being withheld and remitted at settlement, the purchaser cannot rely on such refusal as a defence to an action by the Commissioner to recover the outstanding amount from the purchaser under Sections 96 or 98 of the Act.
12. The information on a certificate cannot preclude the Commissioner from taking action against a vendor to recover outstanding land tax (including special land tax and vacant residential land tax).
13. You can request a free update of a Land Tax Clearance Certificate via our website if:
  - there is no change to the parties involved in the transaction, and
  - the request is within 90 days of the original certificate being issued.

## For Information Only


LAND TAX CALCULATION BASED ON SINGLE OWNERSHIP

Land Tax = \$0.00

Taxable Value = \$212,207

Calculated as \$0 plus ( \$212,207 - \$0) multiplied by 0.000 cents.

## Land Tax Clearance Certificate - Payment Options

<b>BPAY</b> 	Biller Code: 5249 Ref: 39485881
<b>Telephone &amp; Internet Banking - BPAY®</b> Contact your bank or financial institution to make this payment from your cheque, savings, debit or transaction account. <a href="http://www.bpay.com.au">www.bpay.com.au</a>	

<b>CARD</b> 	Ref: 39485881
<b>Visa or Mastercard.</b> Pay via our website or phone 13 21 61. A card payment fee applies. <a href="http://sro.vic.gov.au/paylandtax">sro.vic.gov.au/paylandtax</a>	





\*\*\*\* Delivered by the LANDATA<sup>®</sup> System, Department of Environment, Land, Water & Planning \*\*\*\*

## ROADS PROPERTY CERTIFICATE

The search results are as follows:

J & K Law C/- InfoTrack  
135 King St  
SYDNEY 2000  
AUSTRALIA

Client Reference: 363691

NO PROPOSALS. As at the 17th July 2020, VicRoads has no approved proposals requiring any part of the property described in your application. You are advised to check your local Council planning scheme regarding land use zoning of the property and surrounding area.

This certificate was prepared solely on the basis of the Applicant-supplied address described below, and electronically delivered by LANDATA<sup>®</sup>.

LANCASTER DRIVE, JACKASS FLAT 3556  
CITY OF GREATER BENDIGO

This certificate is issued in respect of a property identified above. VicRoads expressly disclaim liability for any loss or damage incurred by any person as a result of the Applicant incorrectly identifying the property concerned.

Date of issue: 17th July 2020

Telephone enquiries regarding content of certificate: 13 11 71

[Vicroads Certificate] # 39093256 - 39093256111342 '363691'



# HISTORIC MINING ACTIVITY

## Form No. 692

---

17 July, 2020

**Property Information:**

Address: REEF LANE JACKASS FLAT 3556

**It is advised that:**

Our records do not indicate the presence of any mining activity on this site, and the site appears to be outside any known mined area. (4)

NOTE: Historic Mining activity information is provided from plans and records that may be incomplete and may not be entirely free from errors. It is provided for information only and should not be relied upon as definitive of the status of any area of land. It is provided on the basis that all persons accessing it undertake responsibility for assessing the relevance and accuracy of its content. The State of Victoria and its officers, agents or employees do not guarantee that the work is without flaw of any kind or is wholly appropriate for your particular purposes and therefore disclaims all liability for any error, loss or other consequence which may arise from you relying on any information in this work.

---

**For queries, contact:**

Department of Jobs, Precincts and Regions  
E-mail: [erd\\_info@ecodev.vic.gov.au](mailto:erd_info@ecodev.vic.gov.au)

Template Vendor Statement  
which may be subject to variations and amendments



# HISTORIC MINING ACTIVITY

## Form No. 692

---

17 July, 2020

**Property Information:**

Address: LANCASTER DRIVE JACKASS FLAT 3556

**It is advised that:**

Our records do not indicate the existence of any mining activity on or under this site, but the site is within an area of past prospecting or mining activity. Note that there may be unrecorded mine workings present. (3)

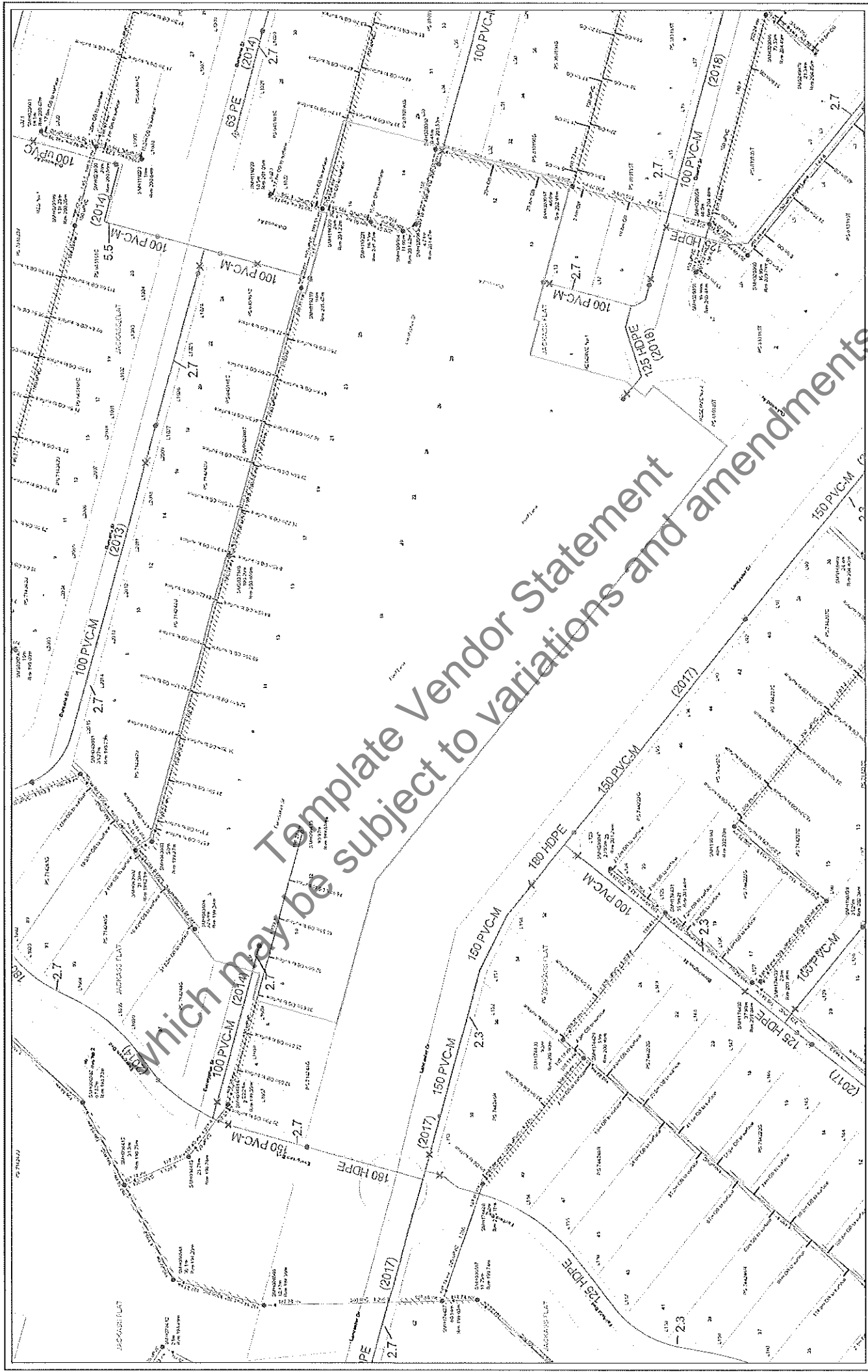
NOTE: Historic Mining activity information is provided from plans and records that may be incomplete and may not be entirely free from errors. It is provided for information only and should not be relied upon as definitive of the status of any area of land. It is provided on the basis that all persons accessing it undertake responsibility for assessing the relevance and accuracy of its content. The State of Victoria and its officers, agents or employees do not guarantee that the work is without law of any kind or is wholly appropriate for your particular purposes and therefore disclaims all liability for any error, loss or other consequence which may arise from you relying on any information in this work.

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**For queries, contact:**

Department of Jobs, Precincts and Regions  
E-mail: [erd\\_info@ecodev.vic.gov.au](mailto:erd_info@ecodev.vic.gov.au)

Template Vendor Statement  
which may be subject to variations and amendments



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Coliban Region Water Corporation  
 Lancaster Dye Jacketclass Flat

Checkers with respect to the information provided:  
 Coliban Region Water Corporation  
 provides the accuracy or completeness of the information  
 in this document. Coliban Water further accepts no  
 liability for any loss or damage which may be  
 sustained by any negligence on the part of Coliban Water or  
 its employees.

# Due diligence checklist

## What you need to know before buying a residential property

Before you buy a home, you should be aware of a range of issues that may affect that property and impose restrictions or obligations on you, if you buy it. This checklist aims to help you identify whether any of these issues will affect you. The questions are a starting point only and you may need to seek professional advice to answer some of them. You can find links to organisations and web pages that can help you learn more, by visiting the [Due diligence checklist page on the Consumer Affairs Victoria website](#) ([consumer.vic.gov.au/duediligencechecklist](http://consumer.vic.gov.au/duediligencechecklist)).

## Urban living

### Moving to the inner city?

High density areas are attractive for their entertainment and service areas, but these activities create increased traffic as well as noise and odours from businesses and people. Familiarising yourself with the character of the area will give you a balanced understanding of what to expect.

### Is the property subject to an owners corporation?

If the property is part of a subdivision with common property such as driveways or grounds, it may be subject to an owners corporation. You may be required to pay fees and follow rules that restrict what you can do on your property, such as a ban on pet ownership.

## Growth areas

### Are you moving to a growth area?

You should investigate whether you will be required to pay a growth areas infrastructure contribution.

## Flood and fire risk

### Does this property experience flooding or bushfire?

Properties are sometimes subject to the risk of fire and flooding due to their location. You should properly investigate these risks and consider their implications for land management, buildings and insurance premiums.

## Rural properties

### Moving to the country?

If you are looking at property in a rural zone, consider:

- Is the surrounding land use compatible with your lifestyle expectations? Farming can create noise or odour that may be at odds with your expectations of a rural lifestyle.
- Are you considering removing native vegetation? There are regulations which affect your ability to remove native vegetation on private property.
- Do you understand your obligations to manage weeds and pest animals?

### Can you build new dwellings?

Does the property adjoin crown land, have a water frontage, contain a disused government road, or are there any crown licences associated with the land?

### Is there any earth resource activity such as mining in the area?

You may wish to find out more about exploration, mining and quarrying activity on or near the property and consider the issue of petroleum, geothermal and greenhouse gas sequestration permits, leases and licences, extractive industry authorisations and mineral licences.

## Soil and groundwater contamination

### Has previous land use affected the soil or groundwater?

You should consider whether past activities, including the use of adjacent land, may have caused contamination at the site and whether this may prevent you from doing certain things to or on the land in the future.

## Land boundaries

### Do you know the exact boundary of the property?

You should compare the measurements shown on the title document with actual fences and buildings on the property, to make sure the boundaries match. If you have concerns about this, you can speak to your lawyer or conveyancer, or commission a site survey to establish property boundaries.

## Planning controls

### Can you change how the property is used, or the buildings on it?

All land is subject to a planning scheme, run by the local council. How the property is zoned and any overlays that may apply, will determine how the land can be used. This may restrict such things as whether you can build on vacant land or how you can alter or develop the land and its buildings over time.

The local council can give you advice about the planning scheme, as well as details of any other restrictions that may apply, such as design guidelines or bushfire safety design. There may also be restrictions – known as encumbrances – on the property's title, which prevent you from developing the property. You can find out about encumbrances by looking at the section 32 statement.

### Are there any proposed or granted planning permits?

The local council can advise you if there are any proposed or issued planning permits for any properties close by. Significant developments in your area may change the local 'character' (predominant style of the area) and may increase noise or traffic near the property.

## Safety

### Is the building safe to live in?

Building laws are in place to ensure building safety. Professional building inspections can help you assess the property for electrical safety, possible illegal building work, adequate pool or spa fencing and the presence of asbestos, termites, or other potential hazards.

## Building permits

### Have any buildings or retaining walls on the property been altered, or do you plan to alter them?

There are laws and regulations about how buildings and retaining walls are constructed, which you may wish to investigate to ensure any completed or proposed building work is approved. The local council may be able to give you information about any building permits issued for recent building works done to the property, and what you must do to plan new work. You can also commission a private building surveyor's assessment.

### Are any recent building or renovation works covered by insurance?

Ask the vendor if there is any owner-builder insurance or builder's warranty to cover defects in the work done to the property.

## Utilities and essential services

### Does the property have working connections for water, sewerage, electricity, gas, telephone and internet?

Unconnected services may not be available, or may incur a fee to connect. You may also need to choose from a range of suppliers for these services. This may be particularly important in rural areas where some services are not available.

## Buyers' rights

### Do you know your rights when buying a property?

The contract of sale and section 32 statement contain important information about the property, so you should request to see these and read them thoroughly. Many people engage a lawyer or conveyancer to help them understand the contracts and ensure the sale goes through correctly. If you intend to hire a professional, you should consider speaking to them before you commit to the sale. There are also important rules about the way private sales and auctions are conducted. These may include a cooling-off period and specific rights associated with 'off the plan' sales. The important thing to remember is that, as the buyer, you have rights.

(04/10/2016)